



City of Brunswick
Planning, Development, & Codes Department
601 Gloucester Street
Brunswick, Georgia, 31520

CERTIFICATE OF APPROPRIATENESS

Please take care to insure that the information for each checkbox below is sufficiently provided. **The City of Brunswick does not accept incomplete applications.**

Applications must be submitted to the Planning, Development, & Codes Department no later than 20 days prior to the regularly scheduled meeting of the Planning and Appeals Commission. The PAC meets the second Wednesday of each month.

- Completed Application
- Survey/Lot Inspection Report/Site Plan with clearly marked property lines and setbacks
- Proof of property ownership OR proof of legal authorization from property owner
- Drawings/photographs of proposed changes and area of the property/structure
- List of proposed materials (sample materials may be requested)
(noted on Site Plan, submitted with application)

The Planning, Development & Codes Department highly recommends arranging a meeting with staff prior to the submission of an application. Should you have questions or wish to arrange a meeting please contact the Historic Preservation Office at (912) 267-5527.



CITY OF BRUNSWICK, GEORGIA
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES
Brunswick Historic Preservation Board

COA

1. Name of Applicant: Jarrett Eidell c/o Hannah Davenport, Esq. Date: 11/19/21

You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.

Mailing Address: 900 Carpenter Street, Brunswick, Georgia Zip Code: 31520

Daytime Telephone: 404-924-2857

E-mail Address: hdavenport@grdlegal.com

Relationship of Applicant to Property: Owner () Architect () Contractor
() Other (Specify) _____

2. Address and Legal Description of Property: 900 Carpenter Street, Brunswick, Georgia 31520

Year Built: 1875

Historic Designation: () Historic (more than 50 years old and contributing)

Era: "Stick style"

() Historic-obscured (50 years old but not contributing)

() Non-historic (less than 50 years old, yet not detracting)

() Intrusions (any aged structure, which detracts)

() Vacant

3. Proposed Work:

() New Construction

() New Signage

() Demolition

() Parking Lot, Driveway or Walkway

() Relocation

Outbuilding or Accessory Structure

() Excavation

() Lighting Fixtures

() Fencing or landscaping

() Other

() Reconstruction or alteration of the size, shape or façade of an existing structure.

() A change in the location or extent of signage.

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

Applicant proposes to construct a garage/carriage house on his property, to complement the existing single-family home.

Proposed materials will match that of existing main house- same pane pattern, siding to match in width (Hard-board product), fiberglass reinforced asphalt singles in style to match main house.

IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.



CITY OF BRUNSWICK, GEORGIA
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES**
Brunswick Historic Preservation Board

C₂

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

SIGNATURE OF APPLICANT:



Staff Comments: _____

**CITY OF BRUNSWICK
CERTIFICATE OF APPROPRIATENESS
Brunswick Historic Preservation Board**

A Certificate of Appropriateness is hereby issued to: _____

For the following actions: _____

at _____

provided the following conditions are met: _____

SIGNATURE:

Chairperson, Historic Preservation Board

DATE: _____

**WRITTEN JUSTIFICATION IN SUPPORT OF APPLICATION FOR CERTIFICATE
OF APPROPRIATENESS**

Filed on behalf of:

Jarrett Eidell (the “**Applicant**”),
900 Carpenter Street, Brunswick, Georgia 31520

Submitted for Applicants by:

Bobby Buckler

and

Brian E. Daughdrill
Hannah Davenport
Giacoma, Roberts & Daughdrill, LLC
945 East Paces Ferry Road, Suite 2750
Atlanta, Georgia 30326
(404) 924-2854
bdaughdrill@grdlegal.com

I. INTRODUCTION

This Written Justification in Support of Application for Certificate of Appropriateness is submitted in SUPPORT to the requested Certificates of Appropriateness (“COA”) submitted to the Brunswick Historic Preservation Board (the “Board”) for the property and project located 900 Carpenter Street, Brunswick, Georgia 31520 (the “Property”), filed by applicant Jarrett Eidell (the “Applicant”). *See* Affidavit of Jarrett Eidell, attached hereto as **Exhibit “A”**. The Applicant purchased the Property on April 30, 2021. A true and correct copy of the Applicant’s Limited Warranty Deed is attached hereto as **Exhibit “B”**. The Property, located in the Old Town Brunswick Historic Preservation District (“Old Town District”) of the City of Brunswick contains a historic single-family structure along with a detached non-historic shed. The Applicant seeks to construct a detached garage/carriage house to complement the existing single-family home (the “Carriage House”). A true and correct copy of the Plan for the Carriage House is attached hereto as **Exhibit “C”**. Because the Property is located in the Old Town District, it is subjected to the City of Brunswick Municipal Code Article II. *See* Brunswick Code, Article II attached hereto as **Exhibit “D.”**

The Property consists of the historic Nightingale-Hughes House, built circa 1875, and it is located on Halifax Square in the Old Town District. The Property is located at the corner of Carpenter Street and Prince Street. The home is approximately 2,900 square feet and sits on a 0.26-acre lot. There is also an existing non-historic shed located on the Property. The Nightingale-Hughes House is a classic example of a “Stick Style” house, preceding Gothic Revival style with the subsequent Queen Ann Style. *See* Old Town Phase II Survey Report, p. 12, attached hereto as **Exhibit “E”**. While located in the Old Town District, the Nightingale-Hughes House itself is not itself a recognized “historic property.”

high. The Carriage House is proposed to be located 10 feet from rear setback and 15 feet from the side along Prince Street well within the mandated setbacks. The Property already contains an existing curb cut and pavement at the proposed location of the Carriage House driveway. The existing curb cut will be expanded to the left, however it will not impact the live oak tree on the Property. The curb cut, as now established, actually causes water pooling and drainage issues next to the live oak tree on the right of the driveway along the public right-of-way. Photos evidencing the pooling and flooding issues next to the live oak tree are shown below. As part of the Applicant's plans to expand the curb cut to the left, the correction of the pooling on the right will also be made, allowing stormwater to properly drain as intended.





The Carriage House will be constructed in a complimentary style to the historic Nightingale-Hughes House. The Nightingale-Hughes House is a classic example of Stick Style, which includes a gabled roof, steeply pitched with cross gables, decorative trusses, overhanging eaves, and exposed rafter ends. *See Ex. E., p. 12.* The Carriage House will include similar and complimentary elements- rafter tails and gutters are proposed to match the house, as well as contain coordinating frieze, fascia, and skirt boards to match the main house. The Carriage House will also contain a gable bracket in the same Stick Style as the main house.

The Carriage House will also be complimentary to the nearest adjacent neighbor to the east of the Carriage House and similarly fronting on Prince Street. That house is constructed in the Folk Victorian style and Stick Style is compatible with both the scale and type of architecture for that

house. There are, within the sphere of influence, twenty-four other homes similarly of the Stick Style construction of similar size and scale within the Old Town District.

III. RELEVANT STANDARDS TO CERTIFICATE OF APPROPRIATENESS AND APPLICATION TO CURRENT PROPOSAL

The City of Brunswick Municipal Code (“Brunswick Code”) establishes the area surrounding the Property as the Old Town Brunswick Historic Preservation District. *See* Ex. D, Sec. 5-35. A copy of the Old Town District map is shown below.



The Brunswick Code requires the issuance of a certificate of appropriateness (“COA”) for any “material change in appearance of a designated historic property or of a property located within a designated historic district.” Ex. D, Sec. 5-22; Sec. 5-25. A “material change” includes any

erection, alteration, restoration or removal of any building or structure within the district. *See* Ex. D, Sec. 5-22. In approving a COA for new construction, the Board shall consider whether the proposed accessory structure is compatible in design, scale, building materials, setback and site features, and whether the construction conforms with the Secretary of Interior’s “Standards for Rehabilitation”. Ex. D, Sec. 5-25(i)(1).

The Board developed the Historic Preservation Design Guidelines (the “Guidelines”) to guide applicants through the design process. The Guidelines provide that a “property shall be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships.” Guidelines, p. 4, attached hereto as **Exhibit “F”**. The Guidelines further provide that “[t]he design of a new . . . outbuildings without the assistance of sound documentation should be contemporary and respect the surrounding historic character of the historic property. New outbuildings incorporated into a historic site with care include . . . garages . . . guest houses, etc.” Ex. F, p. 11. The Guidelines also specifically note that nothing in the Guidelines precludes contemporary architecture, but that the Board reviews plans to ensure compatibility with the surrounding neighborhood. *See* Ex. F, p. 30.

The proposed Carriage House complies with both the Brunswick Code and the Guidelines. It respects the historical materials, design, features, spaces, and spatial relationship of the historic house and the Old Town District as a whole. The architect and designer of the proposed Carriage House, Robert Duncan, has ensured that the design, materials, and features of the Carriage House compliments the Nightingale-Hughes House and the Old Town District as a whole. *See* Affidavit of Robert Duncan, attached hereto as **Exhibit “G”**. As further discussed below, there are many examples of similar carriage houses/detached garages in the Old Town District, including 600 Union Street, 804 George Street, and 917 Egmont Street. These carriage houses are of similar size

and style of the proposed Carriage House. Copies of the images of these structures and tax cards are attached collectively hereto as **Exhibit “H”**.

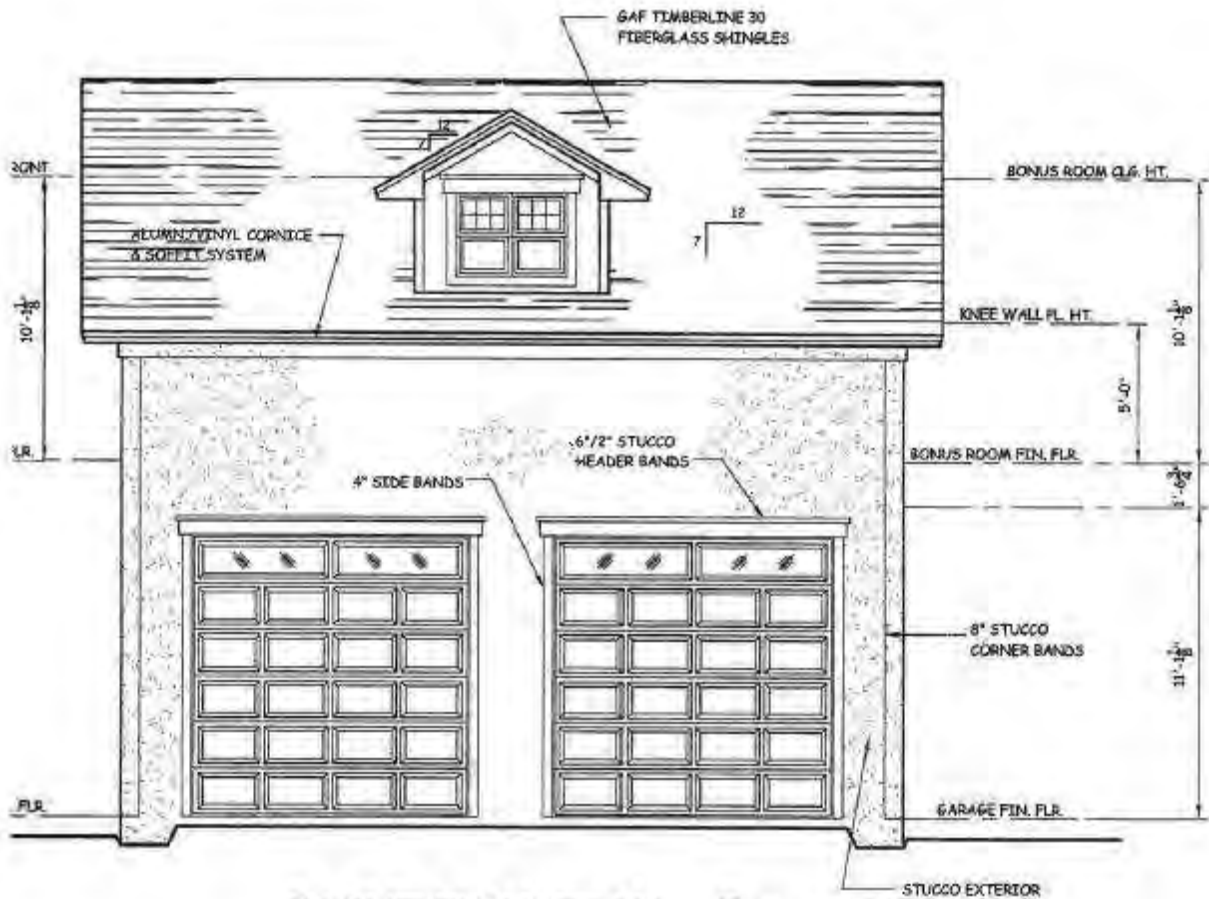
IV. COMPARISON TO SIMILARLY APPROVED DEVELOPMENT

The proposed Carriage House is similar to other approved Certificates of Appropriateness approved by the Board. Attached is a map showing the location of the Property (in red), as well as the locations of approved Certificates of Appropriateness for detached garages and/or carriage houses within the Old Town District. See Old Town District map, marked-up, attached hereto as **Exhibit “I”**.

A similar example is the Certificate of Appropriate approved in March 2020 for the property located at 600 Union Street (“600 Union”). The Board approved the construction of a new carriage house along the Ellis Street rear property line, as well as a variance into the setback line, in keeping with similar structures in the Old Town District. The approved 600 Union carriage house is similar in size and style to the Applicant’s proposed Carriage House. See image of 600 Union carriage house below. Upon information and belief, the 600 Union carriage house is still being constructed.



Another example of a similar construction is the property located at 917 Egmont Street (“917 Egmont”), in which the Board approved a carriage house and garage structure in 2008. The 917 Egmont carriage house is approximately 840 square feet per the Glynn County tax assessor and is similar in size and style to the Applicant’s proposed Carriage House. See images of the approved and constructed 917 Egmont carriage house below.



FRONT ELEVATION *Rev. 10/08*
 SCALE: 1/4" = 1'-0"

NOTE: 7'-0" WINDOW HEADER HT.



There are numerous other examples of carriage houses, including 1000 Union Street (carriage house at 1003 Ellis Street), 1010 Union Street (carriage house at 1011 Ellis Street), and 1001 Union Street.

V. PRESERVATION OF CONSTITUTIONAL RIGHTS

The Applicant respectfully submits that, should the Board refuse to grant the requested Certificate of Appropriateness, such an action would be unconstitutional as a taking of property, a denial of equal protection, an arbitrary and capricious act, and a denial of due process of law under the United States Constitution and the Constitution of the State of Georgia.

Refusal to issue the requested Certificate of Appropriateness would deprive the Applicant of a reasonable use of the Property without just compensation, a use which has been accorded to numerous other property owners in the Old Town District that have built similar carriage houses. Refusal to issue a COA would be insubstantially related to the health and welfare of the public while substantially harming the Property owner. The Applicant further objects to this process as violative of his equal protection rights in that the Board has, this year, approved a COA for a carriage house.

The Applicant specifically objects to the standing of any party that opposes this Application for Certificate of Appropriateness on the basis that such opponents do not have a substantial interest which is affected by this application and cannot show that they are specially aggrieved by the application as that term is defined by Georgia law. Applicant further objects to any appeal brought by any party on the basis that the full governing authority is the only entity authorized to enforce COA requirements pursuant to Brunswick Code, Article II generally.

Further, the Applicant specifically objects to the original creation of the Old Town District. The Town of Brunswick confirmed, in response to Open Records Act requests, that they do not have copies of the notices that were issued as required by O.C.G.A. § 44-10-26(b)(1) in the creation of a historic district or a list of each property and property owner within the district as of the time of the creation of the Old Town District, and as such, the Applicant cannot confirm whether the Old Town District was properly created. To the extent the Old Town District was not created in compliance with O.C.G.A. § 44-10-26, the Applicant hereby objects to the imposition of the Brunswick Code, Article II as violative of his constitutional and due process rights.

IV. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Board issue the Certificates of Appropriateness.

Respectfully submitted,

**GIACOMA ROBERTS
& DAUGHDRILL, LLC**

/s/ Brian E. Daughdrill

Brian E. Daughdrill

BED/hcd

EXHIBIT A

AFFIDAVIT

STATE OF GEORGIA

COUNTY OF Glynn

Comes now Affiant, Jarrett Eidell, who, after being duly sworn deposes and states as follows:

1. My name is Jarrett Eidell and I am over 21 years of age, under no legal disabilities, and give this Affidavit of my own personal knowledge.
2. I am the owner of and reside at the home located at 900 Carpenter Street, Brunswick, Georgia 31520, which is located in the Brunswick Old Town Historic District.
3. The home on the property is known as the Nightingale-Hughes House and it was built circa 1875 on the corner of Halifax Square.
4. I purchased the house in April 2021 with the goal of restoring it and living in it for years to come.
5. Since purchasing the home, I have done a number of projects to increase the value and beauty of the property, including:
 - a. Removing non-native and invasive trees;
 - b. Rebuilt two brick supports under the Prince Street porch where a non-native tree had compromised the foundation;
 - c. Replaced the roof to a more historically relevant roof- galvalume metal on all the one-story sections and porches, and designer Class IV impact resistant shingles on second story roof that have the look of tile, with copper wave metal and open copper valleys;
 - d. Replaced rotten exterior wood around the entire exterior;
 - e. Pressure washed the entire exterior;

- f. Repainted the exterior;
- g. Replaced two HVAC units with energy efficient two stage heat pumps;
- h. Installed spray foam insulation;
- i. Replaced above-ground utilities with under-ground utilities;
- j. Brought the entire electrical service up to code;
- k. Removed damaged sidewalk and replaced reclaimed brick pavers;
- l. Constructed a corner deck and pergola;
- m. Currently landscaping entire yard.

6. All the work I have on the house and plan to do on the house is with the goal of showcasing the classical architecture of the home, which includes a gabled roof, cross gables, decorative trusses, overhanging eaves and exposed rafter ends.

7. I am seeking to construct a carriage house to match and compliment the style of the historic Nightingale-Hughes House. I had my architect design the carriage house in a way that specifically compliments the house and conforms with the beauty of the Old Town Historic District.

8. The carriage house is also in line with other similar carriage houses seen throughout the Old Town Historic District.

9. The carriage house will be used to house my vehicles so as to not park along Carpenter Street or Prince Street. It will also contain a second floor living space that will allow for guest quarters when friends or family visit my family.

Signature continues on next page

Further Affiant saith not.

Name: _____

Sworn to and subscribed
before me this 22 day
of October, 2021.

Kim Sieving (seal)
Notary Public

My Commission Expires: 9-22-24



EXHIBIT B

D: DEED B: 4445 P: 171

05/11/2021 10:17 AM

0632021007326 Pages: 2 Recording Fee: \$25.00

Transfer Tax: \$394.50

Ronald M. Adams

Clerk of Superior Court, Glynn County, GA

After Recording Return to:

Bishop Law Firm
465 Sea Island Road
St. Simons Island, Georgia 31522
BLF File # 2021-137

STATE OF GEORGIA
COUNTY OF GLYNN

Parcel No. 01-01089

LIMITED WARRANTY DEED

A CONVEYANCE, made effective as of the 30 day of April, 2021 from **Deborah Hackett Brown and Bradford Scott Brown**, of Glynn County, Georgia, as the First Party, to **Jarrett Eidell**, of Glynn County, Georgia, as the Second Party.

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash to it in hand paid by the Second Party, at or before the sealing and delivery of these presents, the receipt of which is confessed, and of other good and valuable consideration, the First Party hereby grants and conveys unto the Second Party, his successors and assigns, the following described real property, to-wit:

All that certain lot, tract or parcel of land situate, lying and being in the City of Brunswick, Glynn County, Georgia, and in that certain portion of said City known as "Old Town" being described according to the official map and plan of the City of Brunswick of file in the Office of the Clerk of Commission of said City as the WESTERN ONE HUNDRED TWENTY (120) BY NINETY (90) FEET OF OLD TOWN LOT NUMBER THREE HUNDRED NINETY ONE (391), and being more particularly described according to a plat of survey by C. M. German, Jr., dated June 8, 1978, a copy of which is attached to that certain deed of conveyance from John H. Mallette to Richard C. Brown and Susan U. Brown, of record in the Office of the Clerk of Glynn Superior Court in Deed Book 20-J, Page 349, as follows, to-wit: BEGINNING at the intersection of the easterly right-of-way line of Carpenter Street with the northern right-of-way line of Prince Street and running thence along the eastern line of Carpenter Street North 17 degrees 27 minutes West for a distance of 90 feet to a point; thence North 72 degrees 33 minutes East for a distance of 120 feet to a point; thence South 17 degrees 27 minutes East for a distance of 90 feet to a point;

thence South 72 degrees 33 minutes West for a distance of 120 feet to a point which is the point and place of beginning of the property conveyed herein.

Reference is hereby made to the official maps and plans of said City and to the plat of survey made by C.K. German, Jr., dated June 8, 1978, for all purposes of description and identification of said property and for all other purposes.


Property Address: 900 Carpenter Street, Brunswick, GA 31520

TO HAVE AND TO HOLD the real property above described and hereby conveyed, together with the improvements thereon, if any, and all and singular the rights, members and appurtenances thereunto belonging or in any manner appertaining, unto the Second Party, his successors and assigns, forever in fee simple.

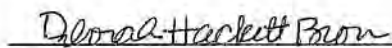
AND THE FIRST PARTY HEREBY WARRANTS and will forever defend unto the Second Party, his successors and assigns, the right and title hereby conveyed in and to the real property above described as against the lawful claims and demands against the claims of any persons owning, holding or claiming by, through or under First Party.

IN WITNESS WHEREOF, First Party has hereunto set their hand and affixed their seal as of the day and year first above written.

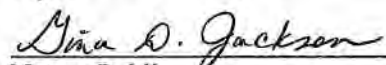
Signed, sealed and delivered
in the presence of:



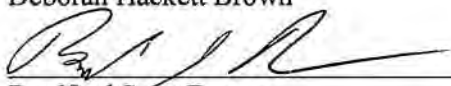
(Unofficial Witness)



Deborah Hackett Brown



Notary Public
My commission expires: 10/1/2023
[NOTARY SEAL]



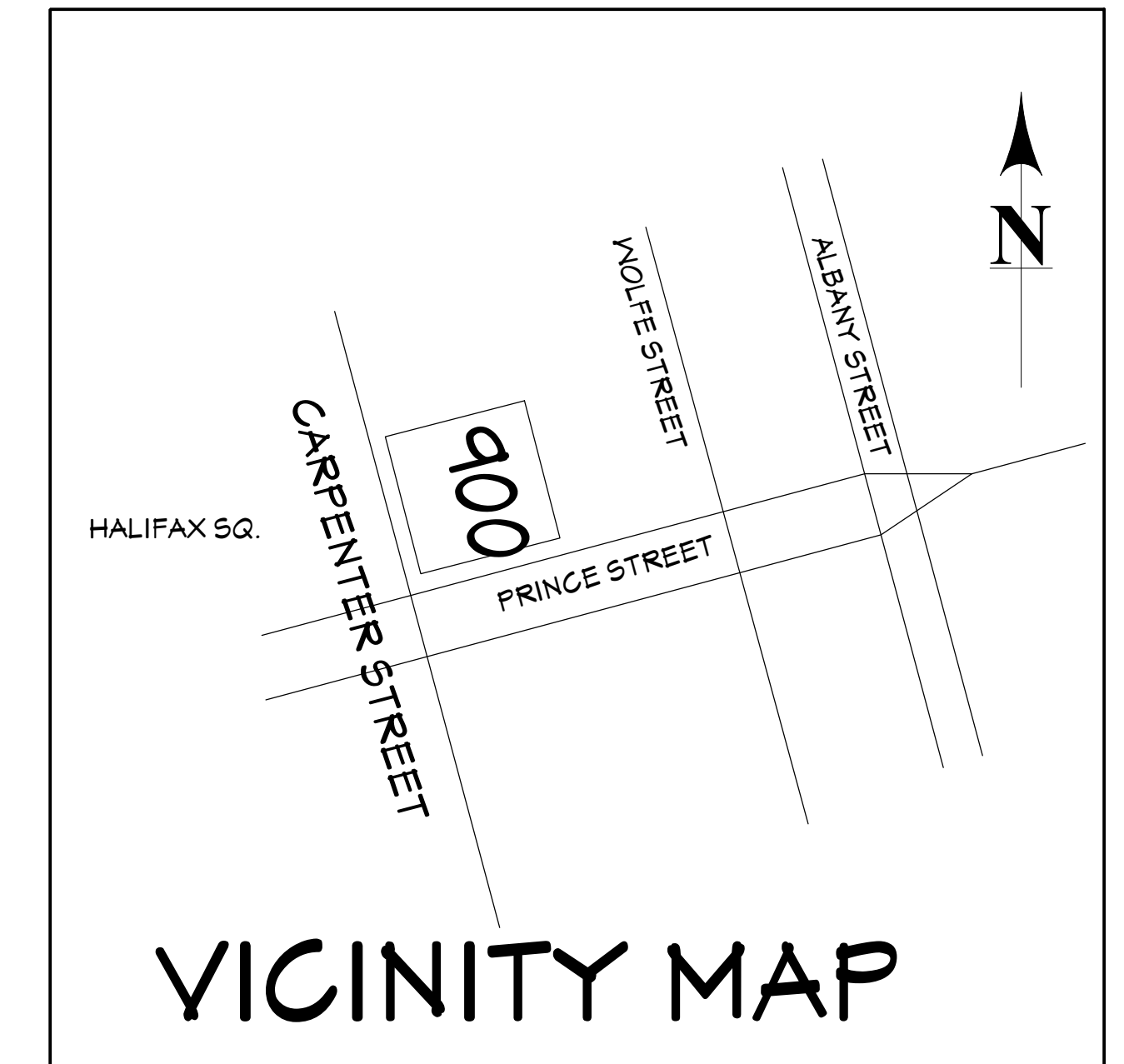
Bradford Scott Brown



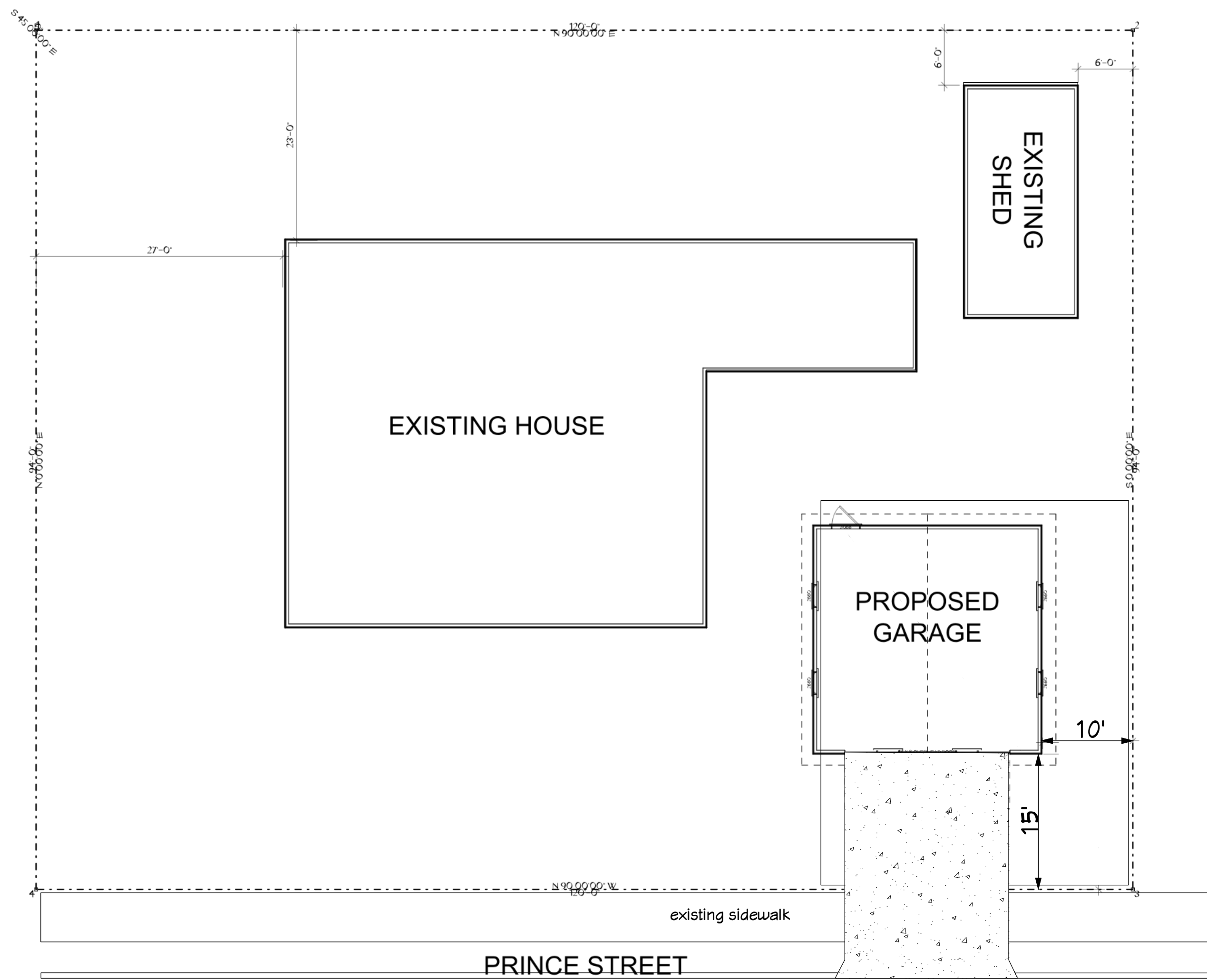
EXHIBIT C

GENERAL NOTES:

1. VERIFY ALL SITE DIMENSIONS AND ADJUST GARAGE LOCATION AS NEEDED FOR LOCAL CODE COMPLIANCE.
2. EXTERIOR FINISHES SHALL MIMIC THE MAIN HOUSE: FRIEZE, FACIA, AND SKIRT BOARDS TO BE 5/4 X WIDTH OF EXISTING TRIM
3. REPLICATE EXISTING RAFTER TAILS.
4. GABLE BRACKET TO MATCH MAIN HOUSE
5. ATTACH STRUCTURE TO CONCRETE SLAB WITH MUDSILL ANCHORS @ 21" O.C.
6. APPLY METAL STRAPPING TO ATTACH EACH FLOOR/CEILING JOISTS ACROSS PLATES TO STUDS AND LIKE WISE FOR ROOF RAFTERS TO DOUBLE PLATE AND 2ND STORY STUD WALL
7. INSTALL DOUBLE 2X4 DIAGONAL BRACING FULL HEIGHT AT GABLE END WALLS FOR HIGH WIND LOADING. CONNECT TO HORIZONTAL JOIST BRACING.

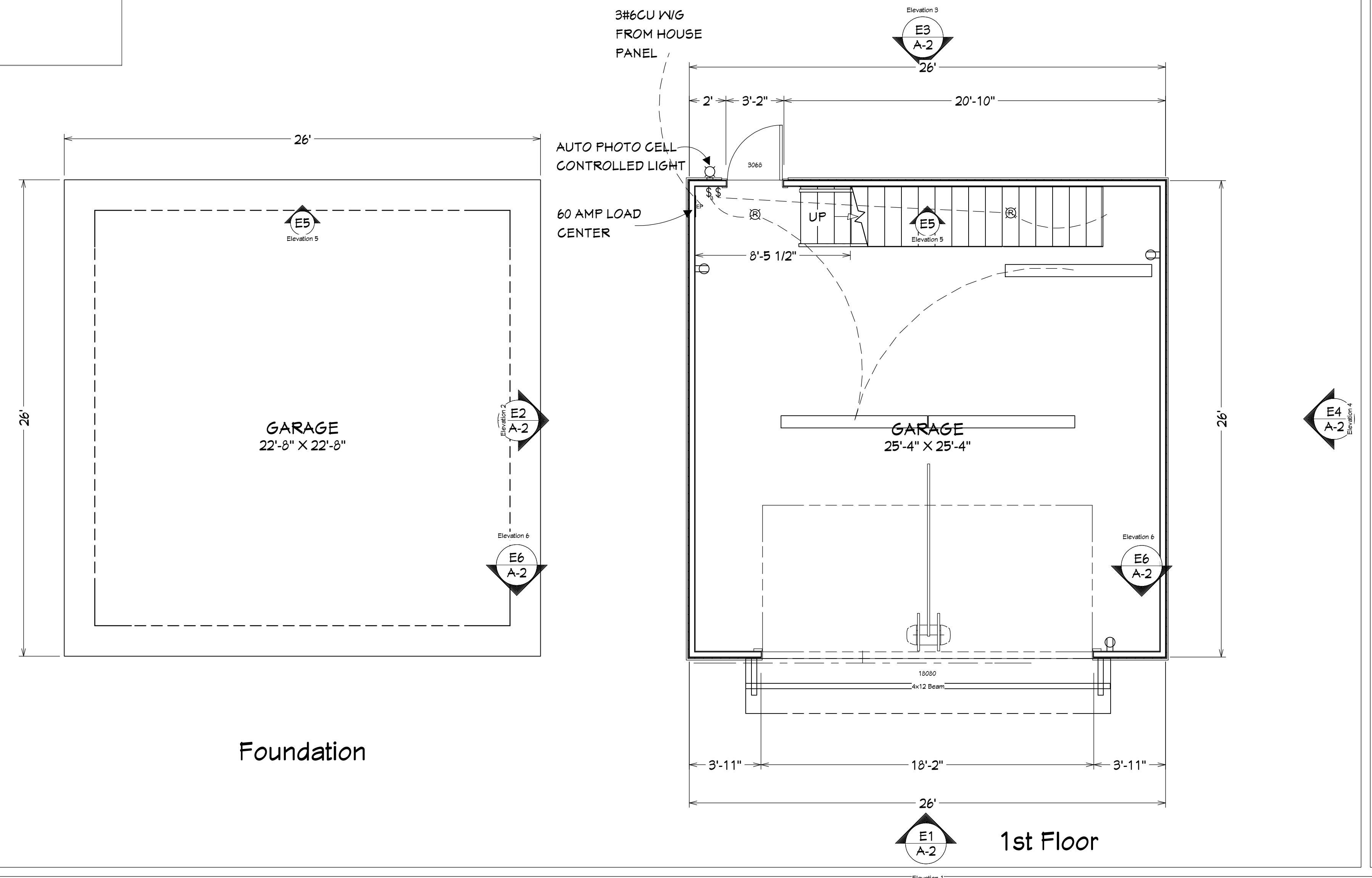


CARPENTER STREET



SITE PLAN

N.T.S.



NUMBER	DATE	REVISION BY	DESCRIPTION

PLANS AND NOTES

AGARAGE FOR:
900 CARPENTER STREET
BRUNSWICK, GEORGIA

DRAWINGS PROVIDED BY:
SSI ENTERPRIZES

DATE:

5/19/21

SCALE:

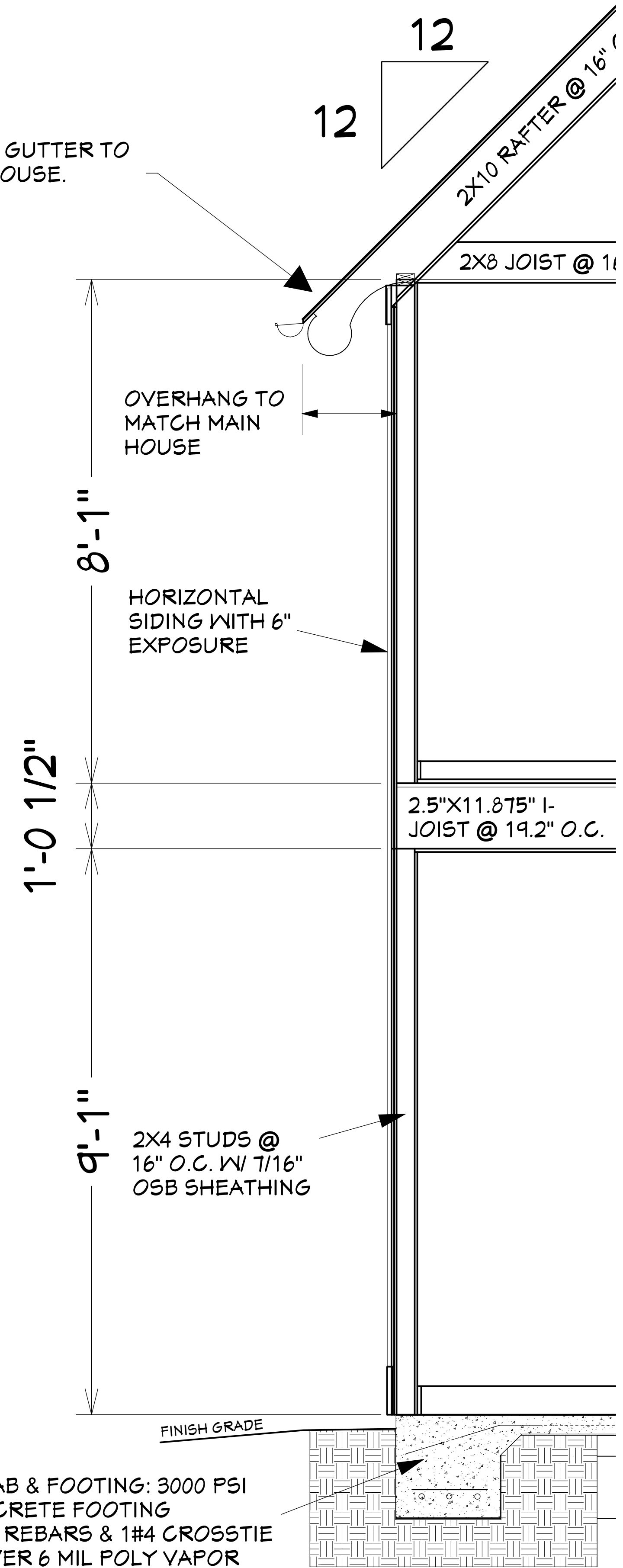
1/4"=1'-0"

SHEET:

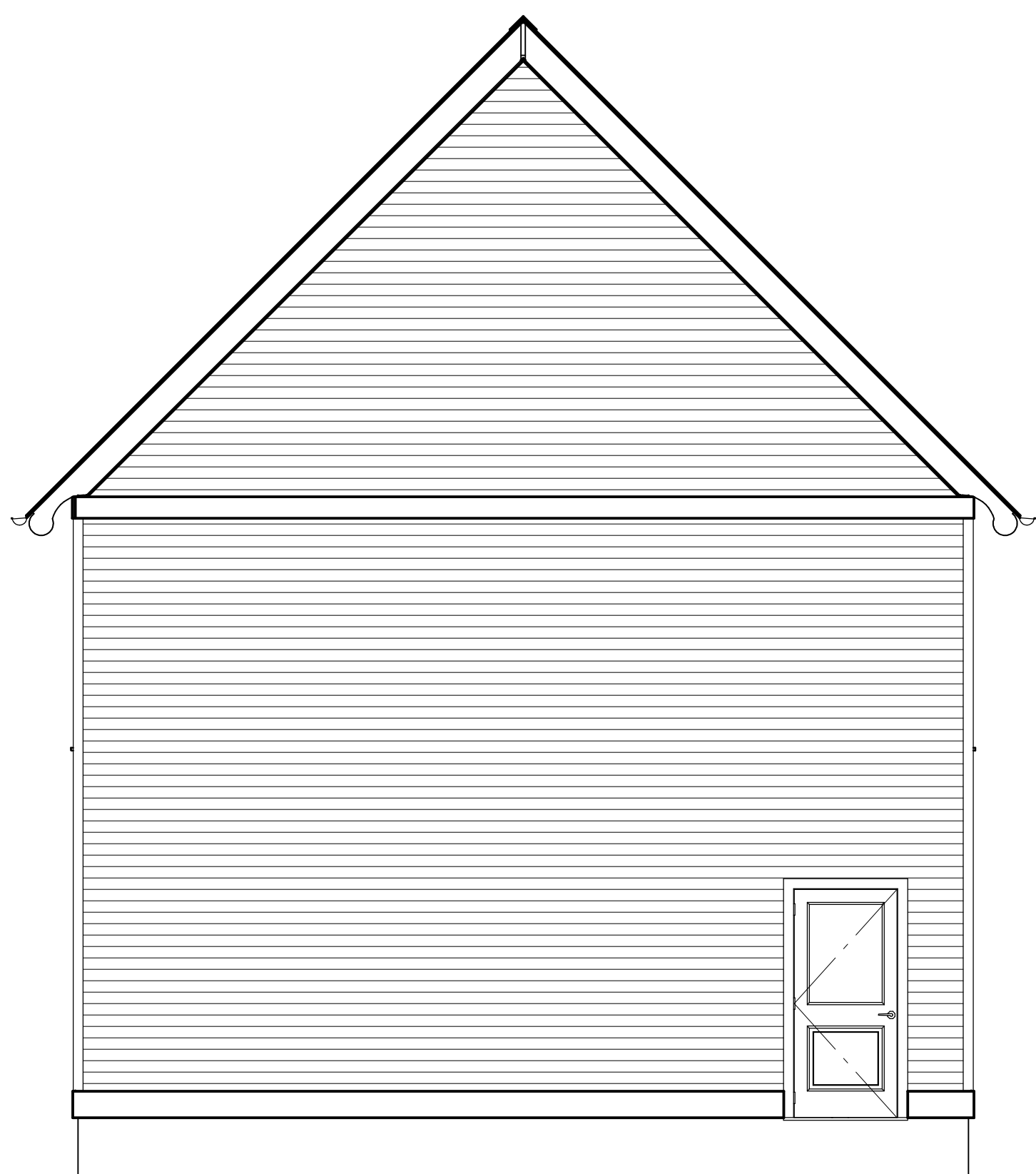
A-1

FIBERGLAS REINFORCED
ASHPALT SHINGLES OVER 7/16"
OSB WITH 30# BUILDING PAPER

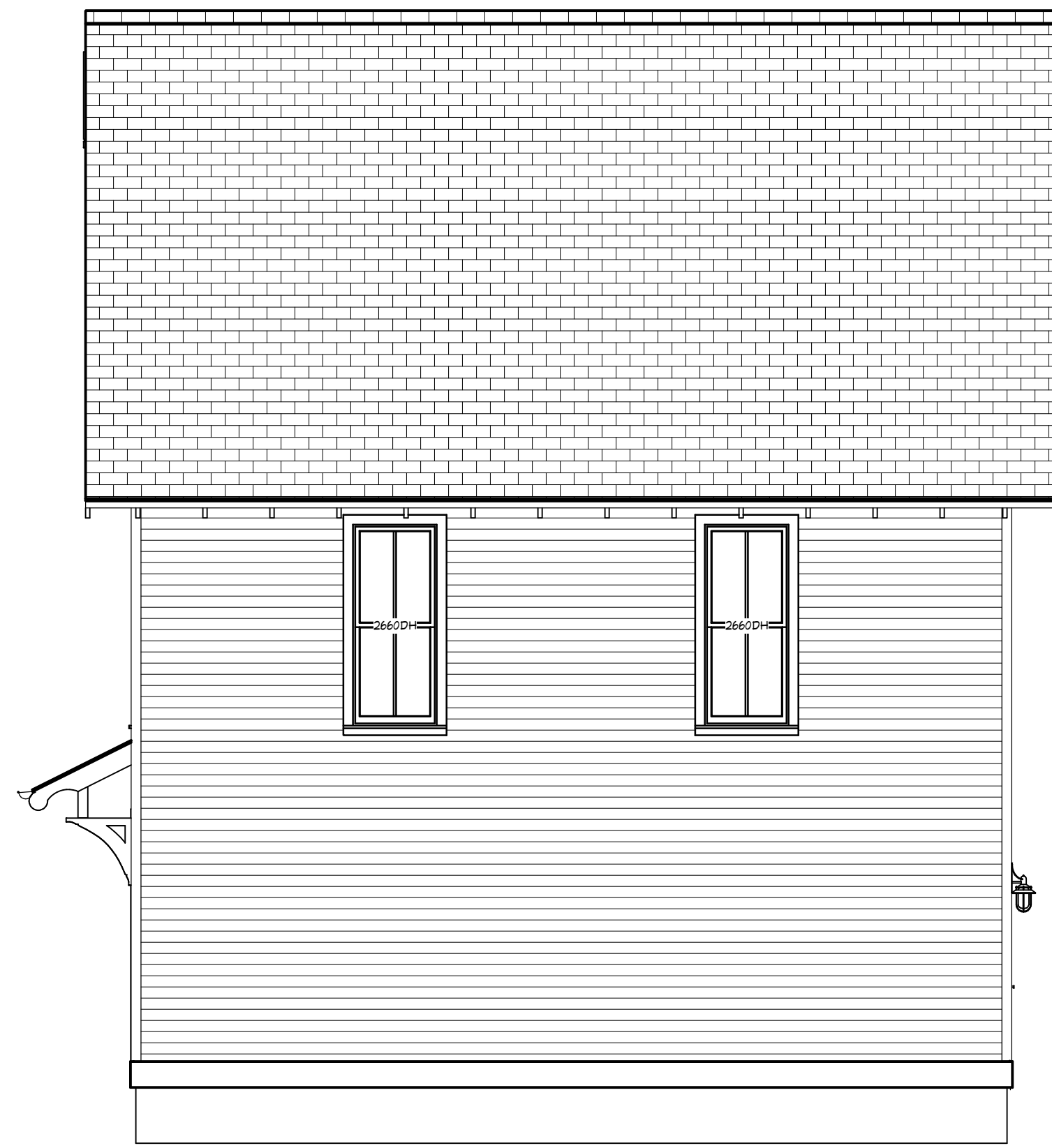
RAFTER TAILS AND GUTTER TO
MATCH EXISTING HOUSE.



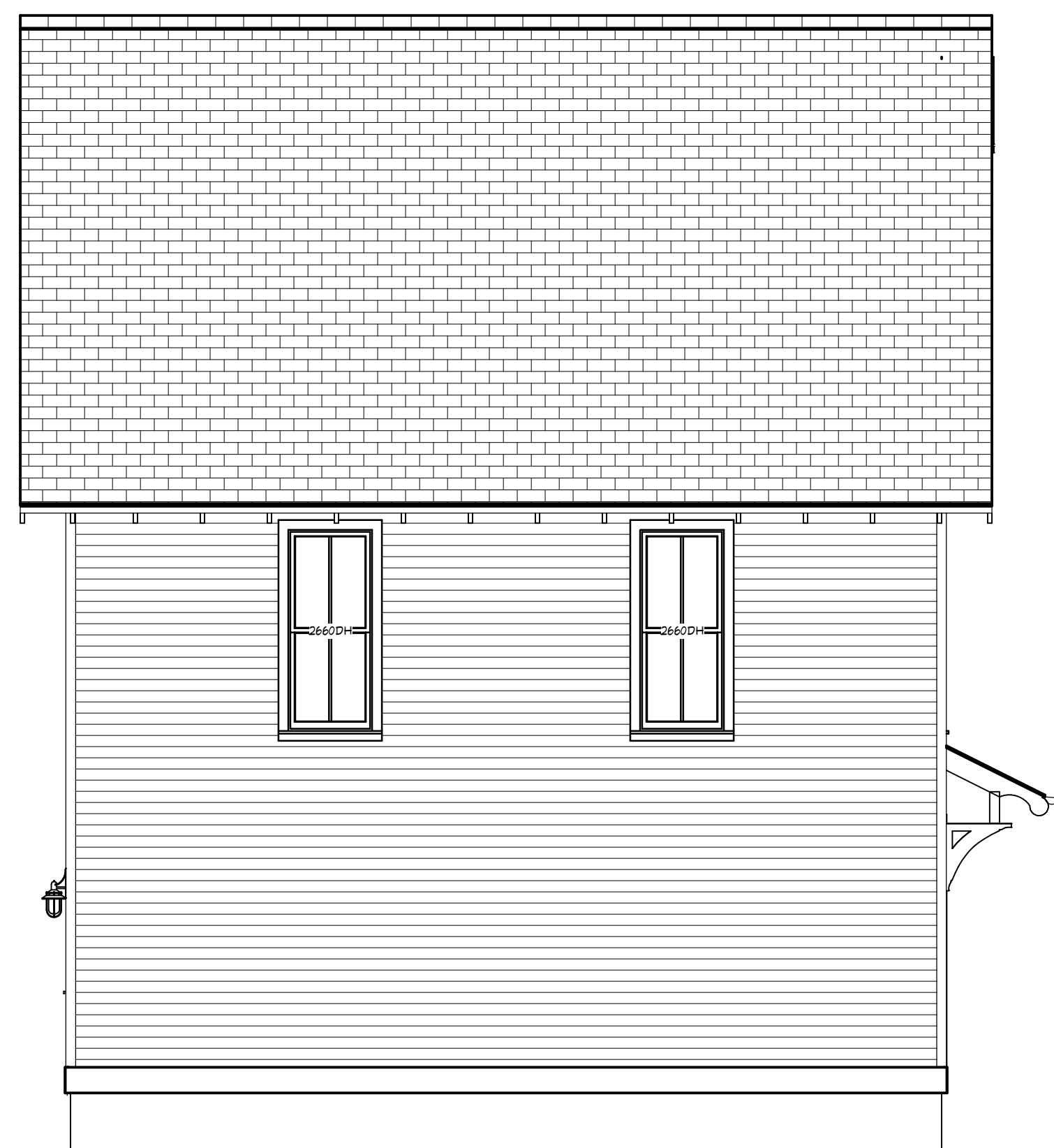
4" MONOLITHIC SLAB & FOOTING: 3000 PSI
REINFORCED CONCRETE FOOTING
20"WX16"D, W/ 3#5 REBARS & 1#4 CROSSTIE
@ 48" SPACING, OVER 6 MIL POLY VAPOR
BARRIER. INCLUDE 6X6 W/M SLAB
REINFORCEMENT.



Elevation 3



Elevation 4



Elevation 2



Elevation 1

REVISION TABLE	
NUMBER	DATE

ELEVATIONS

AGARAGE FOR:
900 CARPENTER STREET
BRUNSWICK, GEORGIA

DRAWINGS PROVIDED BY:
SSI ENTERPRIZES

DATE:

5/19/21

SCALE:

1/4"=1'-0"

SHEET:

A-2

EXHIBIT D

ARTICLE II. - HISTORIC PRESERVATION

Footnotes:

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Editor's note— Ord. No. 916, § 2, adopted Feb. 16, 1994, repealed former art. II of this chapter in its entirety. Former art. II, §§ 5-21—5-28, pertained to the building code and derived from Ord. No. 880, app. §§ 2-5-20, 2-5-21, 2-5-23, 2-5-25—2-5-28, adopted Sept. 20, 1989; and Ord. No. 882, § 1, adopted Oct. 1, 1989. Ord. No. 939, adopted Apr. 7, 2002, added new provisions to ch. 5 as art. II, §§ 5-6—5-15. Sections 5-13 and 5-14 of the ordinance, which pertained to severability and repealer, respectively, have not been included in this article, at the discretion of the editor, as similar provisions are set out in chapter 1 of this Code. Furthermore, §§ 5-6—5-12, 5-15 of the ordinance have been redesignated by the editor as div. 1, §§ 5-21—5-28, of art. II in order to provide for the future expansion of art. I of this chapter.

DIVISION 1. - GENERALLY

Footnotes:

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Editor's note— Ord. No. 1034, adopted January 22, 2014, amended division 1 in its entirety to read as herein set out. Former division 1, §§ 5-21—5-28, pertained to similar subject matter, and derived from Ord. No. 939, § 5-6—5-12, adopted April 7, 1999; Ord. No. 990, § 1, adopted June 20, 2007.

Sec. 5-21. - Purpose.

In support and furtherance of its findings and determination that historic, cultural, and aesthetic resources of the city are among its most valued and important assets and that preservation of this heritage is essential to the promotion of the health, prosperity and general welfare of the people;

In order to provide a uniform process for providing guidance to owners of historic property in making material changes through the approval of certificates of appropriateness;

In order to stimulate revitalization and reinvestment in the central business district and residential areas of the city and to protect and enhance local historical, cultural, and aesthetic attractions to tourists and thereby promote and stimulate business;

In order to enhance the opportunities for federal tax relief of property owners under relevant provisions of the Tax Reform Act of 1986 (Public Law 99-514) allowing tax investment credits for rehabilitation of certified historic structures;

The mayor and commission of the city hereby declare it to be the purpose and intent of this article to establish a uniform procedure for use in providing for the protection, enhancement, perpetuation, and use of places, districts, sites, buildings, structure, and works of art having a special historic/aesthetic interest or value, in accordance with the provisions of this article.

(Ord. No. 1034, 1-22-2014)

Sec. 5-22. - Definitions.

Building. A building is a structure created to shelter any form of human activity, such as a house, barn, church, hotel or similar structure. Building may refer to a historically related complex such as a courthouse and jail or a house and barn.

Certificate of appropriateness. A document evidencing approval by the historic preservation board of an application to make a material change in the appearance of a designated historic property or of a property located within a designated historic district.

Exterior architectural features. The architectural style, general design and general arrangement of the exterior of a building, structure or object, including but not limited to the kind or texture of the building material and the type and style of all windows, doors, signs and other appurtenant architectural fixtures, features, details or elements relative to the forgoing.

Exterior environmental features. All those aspects of the landscape or the development of a site which affect the historic character of the property.

Historic district. A geographically definable area, possessing a significant concentration, linkage, or continuity of sites, buildings, structures or objects united by past events or aesthetically by plan or physical development. A district may also comprise individual elements separated geographically but linked by association or history. A historic district shall further mean an area designated by the commission of the City of Brunswick as a historic district pursuant to the criteria established in section 5-24(b) of this division.

Historic property. An individual building, structure, site, or object including the adjacent area necessary for the proper appreciation thereof designated by the commission of the City of Brunswick as a historic property pursuant to the criteria established in section 5-24(c) of this division.

Material change in appearance. A change that will affect either the exterior architectural or environmental features of a historic property or any building, structure, site, object, or landscape feature within a historic district, such as, but not limited to:

- (1) A reconstruction or alteration of the size, shape or facade of a historic property, including relocation of any doors or windows or removal or alteration of any architectural features, details or elements;
- (2) Demolition or relocation of a historic structure;
- (3) Commencement of excavation for construction purposes;
- (4) A change in the location of advertising visible from the public right-of-way; or
- (5) The erection (new construction), alteration, restoration or removal of any buildings or other structure within a historic property or district, including walls, fences, steps and pavements, or other appurtenant features, except exterior paint alterations.

Object. An object is a material thing of functional, aesthetic, cultural, historical or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.

Site. A site is the location of a significant event, a prehistoric or historical occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself maintains historical or archaeological value regardless of the value of any existing structure.

Structure. A structure is a work made up of interdependent and inter-related parts in a definite pattern of organization. Constructed by man, it is often an engineering project large in scale.

(Ord. No. 1034, 1-22-2014)

Sec. 5-23. - Creation of a historic preservation board.

- (a) *Creation of the board:* There is hereby created a commission whose title shall be "Brunswick Historic Preservation Board" (hereinafter "board").
- (b) *Board position within the city government:* The board shall be part of the planning functions of the city of the City of Brunswick.
- (c) *Board members: Number, appointment, terms and compensation:* The board shall consist of seven members appointed by the city commission. All members shall be residents of the City of Brunswick and shall be persons who have demonstrated special interest, experience, or education in history, architecture or the preservation of historic resources. To the extent available in the city, at least three members shall be appointed from among professionals in the disciplines of architecture, history, architectural history, planning, archaeology, or related professions.

Members shall serve three-year terms. In order to achieve staggered terms, initial appointments shall be: two members for one year; two members for two years; and three members for three years. Members shall not receive a salary, although they may be reimbursed for expenses approved by the city manager incurred while performing official business.

- (d) *Statement of board's power:*

- (1) The preservation board shall be authorized to:
 - a. Prepare and maintain an inventory, for the purposes of the board's business, of all property within the City of Brunswick having the potential for designation as historic property;

- b. Recommend to the Brunswick City Commission specific districts, sites, buildings, structures, or objects to be designated as historic properties or historic districts;
 - c. Review applications for certificates of appropriateness, and grant or deny same in accordance with the provisions of this division;
 - d. Recommend to the Brunswick City Commission that the designation of any district, site, building, structure, or object as a historic property or as a historic district be revoked or removed;
 - e. Restore or preserve any historic properties acquired by the City of Brunswick;
 - f. Promote the acquisition by the City of Brunswick of facade easements and conservation easements, as appropriate, in accordance with the provisions of the Georgia Uniform Conservation Easement Act of 1992 (O.C.G.A. §§ 44-10.1—5);
 - g. Conduct educational programs on historic properties located within the city and on general historic preservation activities;
 - h. Make such investigation and studies of matters relating to historic preservation, including consultation with historic preservation experts, the Brunswick City Commission or the board itself may, from time to time, deem necessary or appropriate for the purposes of preserving historic resources;
 - i. Seek out local, state, federal or private funds for historic preservation, and make recommendations to the Brunswick City Commission concerning the most appropriate uses of any funds acquired;
 - j. Submit to the historic preservation division of the department of natural resources a list of historic properties of historic districts designated;
 - k. Perform historic preservation activities as the official agency of the City of Brunswick historic preservation program;
 - l. Employ persons, if necessary, to carry out the responsibilities of the board. The board shall not financially obligate the City of Brunswick without the approval of the commission;
 - m. Receive donations, grants, funds, or gifts of historic property and acquire and sell historic properties, as allowed by Georgia Law. The preservation board shall not obligate the City of Brunswick without prior consent of the commission.
 - n. Review and make comments to the historic preservation division of the department of natural resources concerning the nomination of properties within its jurisdiction to the National Register of Historic Places; and
 - o. Participate in private, state and federal historic preservation programs and with the consent of the Brunswick City Commission, enter into agreements to do the same, as allowed by Georgia law.
- (e) *Board's power to adopt rules and standards:* The preservation board shall adopt rules and standards for the transaction of its business and for consideration of application for designation of certificates of appropriateness, such as by-laws and design guidelines and criteria. The preservation board shall have the flexibility to adopt rules and standards without amendment to this division. The board shall provide for the time and place of regular meetings and a method for the calling of special meetings. The board shall select such officers as it deems appropriate from among its members. A quorum shall consist of a majority of the members.
- (f) *Removal of board members:* If a member of the board is absent for more than three meetings in one year without written or electronic notice to the chairman or secretary of the board, the member shall be automatically taken off the board and a replacement appointed by the mayor and ratified by the city commission at a regularly scheduled or emergency city commission meeting.
- (g) *Conflict of interest:* The board shall be subject to all conflict of interest laws set forth in Georgia Statutes and in the City of Brunswick Charter.
- (h) *Board's authority to receive funding from various sources:* The board shall have the authority to accept donations and shall ensure that these funds do not displace appropriated governmental funds. The board shall not financially obligate the City of Brunswick without the approval of the commission.
- (i) *Records of board meetings:* A public record shall be kept of the board's resolutions, proceedings, and actions.

Sec. 5-24. - Recommendation and designation of historic districts and properties.

(a) *Preliminary research by the board:*

- (1) *Board's mandate to conduct a survey of local historical resources:* the board shall compile and collect information and conduct surveys of historic resources within the City of Brunswick.
- (2) *Board's power to recommend districts and buildings to the Brunswick City Commission for designation:* The board shall present to the Brunswick City Commission recommendations for historic districts and properties.
- (3) *Board's documentation of proposed designation:* Prior to the board's recommendation of a historic district or historic property to the Brunswick City Commission for designation, the board shall prepare a report for nomination consisting of:
 - a. A physical description;
 - b. A statement of the historical, cultural, architectural, and/or aesthetic significance;
 - c. A map showing district boundaries and classification (i.e. contributing, non-contributing or historic, non-historic, vacant, intrusive) of individual properties therein, or showing boundaries of individual historic properties; and
 - d. Representative photographs.

(b) *Designation of a historic district:*

- (1) *Criteria for selection of historic districts:* A historic district is a geographically definable area, which contains buildings, structures, sites, objects, and landscape features or a combination thereof, which:
 - a. Has special character or special historic/aesthetic value or interest;
 - b. Represents one or more periods, styles or types of architecture typical of one or more eras in the history of the municipality, county, state or region; and
 - c. Causes such area, by reason of such factors, to constitute a visibly perceptible section of the municipality or county.
- (2) *Boundaries of a historic district:* Boundaries of a historic district shall be included in the separate ordinances designating such districts and shall be shown on the official zoning map of the City of Brunswick, or in the absence of zoning, on an official map designated as a public record.
- (3) *Evaluation of properties within historic districts:* Individual properties within historic districts shall be classified as:
 - a. Contributing (contributes to the district);
 - b. Non-contributing (does not contribute to the district, as provided for in (b)(1));
 - c. Non-historic (less than 50 years old, yet possessing architectural character);
 - d. Vacant;
 - e. Intrusion (not possessing any architectural character or historic significance).

(c) *Designation of a historic property: Criteria for selection of historic properties:* A historic property is a building, structure, site, or object, including the adjacent area necessary for the proper appreciation or use thereof, deemed worthy of preservation by reason of value to the City of Brunswick, the region, or the State of Georgia for one of the following reasons:

- (1) It is an outstanding example of a structure representative of its era;
- (2) It is one of the few remaining examples of a past architectural style;
- (3) It is a place or structure associated with an event or persons of historic or cultural significance to the City of Brunswick, State of Georgia, or the region; or
- (4) It is the site of natural or aesthetic interest that is continuing to contribute to the cultural or historical development and heritage of the municipality, county, state or region.

(d) *Requirements for adopting an ordinance for the designation of historic districts and historic properties:*

- (1) *Application for designation of historic districts of property:* Designations may be proposed by the Brunswick City Commission, the board, or:
 - a. For historic districts—A historical society, neighborhood association, or group of property owners in the proposed historic district may apply to the board for designation;

- b. For historic properties—A historical society, neighborhood association, or owner of the subject property may apply to the designation.
- (2) *Required components of a designation ordinance:* Any ordinance designating any property or district as historic shall:
- List each property in a proposed historic district or describe the proposed individual historic property;
 - Set forth the name(s) of the owner(s) of the designated property or properties;
 - Require that a certificate of appropriateness be obtained from the commission prior to any material change in appearance of the designated property; and
 - Require that the property or district be shown on the official zoning map of the City of Brunswick and be kept as a public record to provide notice of such designation.
- (3) *Require public hearings:* The board or the Brunswick City Commission shall hold a public hearing on any proposed ordinance for the designation of any historic district or property. Notice of the hearing shall be published in at least three consecutive issues in the official organ of the county, and written notice of the hearing shall be mailed by the board to all owners and occupants of such properties. All such notices shall be published or mailed not less than ten nor more than 20 days prior to the date set for the public hearing. A notice sent via the United States mail to the last-known owner of the property shown on the city tax digest and a notice sent via United States mail to the attention of the occupant shall constitute legal notification to the owner and occupant under this division.
- (4) *Notification of historic preservation division:* No less than 30 days prior to making a recommendation on any ordinance designating a property or district as historic, the board must submit the report, required in section 5-24(a)(3), to the historic preservation division of the department of natural resources.
- (5) *Recommendations on proposed designations:* A recommendation to affirm, modify or withdraw the proposed ordinance for designation shall be made by the board within 15 days following the public hearing and shall be in the form of a resolution to the Brunswick City Commission.
- (6) *The Brunswick City Commission actions on the board's recommendation:* Following receipt of the board recommendation, the Brunswick City Commission may adopt the ordinance as proposed, may adopt the ordinance with any amendments they deem necessary, or reject the ordinance.
- (7) *Notification of adoption of ordinance for designation:* Within 30 days following the adoption of the ordinance for designation by the Brunswick City Commission, the owners and occupants of each designated historic property, and the owners and occupants of each structure, site or work of art located within a designated historic district, shall be given written notification of such designation by the Brunswick City Commission, which notice shall apprise said owners and occupants of the necessity of obtaining a certificate of appropriateness prior to undertaking any material change in appearance of the historic property designated or within the historic district designated. A notice sent via the United States mail to the last-known owner of the property shown on the city tax digest and a notice sent via United States mail to the occupants shall constitute legal notification to the owner and occupant under this division.
- (8) *Notification of other agencies regarding designation:* The board shall notify all necessary agencies within the City of Brunswick of the ordinance for designation.
- (9) *Moratorium on applications for alteration or demolition while ordinance for designation is pending:* If an ordinance for designation is being considered, the commission shall have the power to freeze the status of the involved property.

(Ord. No. 1034, 1-22-2014)

Sec. 5-25. - Application to preservation board for certificate of appropriateness.

- (a) *Approval of material change in appearance in historic districts or involving historic properties:* After the designation by ordinance of a historic property of a historic district, no material change in the appearance of such historic property, or of a contributing or non-contributing building, structure, site, new construction or object within such historic district, shall be made or be permitted to be made by the owner or occupant thereof, unless or until the application for a certificate of appropriateness has been submitted to and approved by the board. A building permit shall not be issued without a certificate of appropriateness. However, if a structure is determined to be in need of repair or demolition by the building official of the

City of Brunswick, the city is not required to seek a certificate of appropriateness from the board. Provided, however, that local governments shall notify the commission 45 days prior to beginning an undertaking that would otherwise require a certificate of appropriateness and allow the commission an opportunity to comment.

- (b) *Submission of plans to board:* An application for a certificate of appropriateness shall be accompanied by such drawings, photographs, plans and documentation as may be required by the board. The application must be submitted at least 15 days prior to a scheduled meeting of the board.
- (c) *Application fee:* The completed application for a certificate of appropriateness shall be accompanied by an application fee of \$10.00.
- (d) *Interior alterations:* In its review of applications for certificates of appropriateness, the board shall not consider interior arrangement or use having no effect on exterior architectural features.
- (e) *Paint color:* In its review of applications for certificates of appropriateness, the board shall not consider the applicant's choice of paint color.
- (f) *Technical advice:* The board shall have the power to seek technical advice from outside its members on any application. The board shall not financially obligate the City of Brunswick without the approval of the mayor and commission.
- (g) *Staff approval of minor works:* The intent of the procedure outlined below is to eliminate time delays for persons who wish to perform minor modifications to a property within a designated historic district when the changes clearly and distinctly comply with the established design guidelines.
 - (1) Applicants must complete an application for a certificate of appropriateness providing suitable information describing the work to be performed. Staff designated by the board will review the application to determine if the proposed work or any portion thereof qualifies for staff approval.
 - (2) Staff may grant approval or approval with conditions for items on the list of minor works which conform to the established guidelines and these rules of procedure. Staff is not required to grant this review and may forward an application to the board for any reason.
 - (3) Monthly reports of staff approved certificates of appropriateness will be presented to the historic preservation board and incorporated into the minutes.
 - (4) List of minor works.

The following list of minor work items may be approved by staff as outlined above:

- a. *Backyard and sideyard fences* —Proposed project involves the construction of backyard or sideyard fences provided that the property is not a corner lot and provided the proposed fence is in accordance with the appropriate design guidelines and with the zoning ordinance.
- b. *Backyard decks* —Proposed project involves the construction of backyard decks provided that the decks do not require the alteration of the existing building or structure; provided that the proposed deck is not visible from the street; and provided the proposed deck is in accordance with the appropriate design guidelines and Zoning Ordinance.
- c. *Installation or replacement of handicapped ramps, backyard walks and entry steps* —Proposed project involves the construction of backyard walks, sidewalks and entry steps provided the materials conform to the relevant design guidelines. Staff may issue a certificate of appropriateness for any rear yard site work, including construction of pools, except on corner lots.
- d. *Removal of non-historic detached accessory structures* —Proposed project involves only the removal of detached accessory structures that are not architecturally or historically significant.
- e. *Minor rehabilitation projects* —Proposed project involves the rehabilitation of exterior walls, porch components, doors, windows and trim provided the work is done in accordance with the applicable design guidelines.
- f. *Picket fence* —Proposed project involves construction of a wood picket fence in the front yard provided
 1. The fence is similar in design to others in the historic district, and
 2. Is no more than 42 inches in height, and

3. Does not have any extra features, such as a trellis or arbor.

g. *Storm windows* —Proposed project involves installation of storm windows provided:

1. The windows have the same sash and frame configuration as the historic windows, and
2. The windows do not obscure muntin bars or other character-defining features of the historic window, and
3. The color of the window sash and frame matches the existing trim color, and
4. The window frames do not project beyond the plane of the historic window opening, and
5. The window panes are clear glass.

h. *Gutters and downspouts* —Proposed project does not require alteration or removal of architectural elements.

i. *Handrails* —Proposed project is considered to be in the same style and material as existing porch railings. In the event of no existing porch railing, handrails on steps may be constructed when the handrails are of the same materials and scale as the porch posts.

j. *Rear yard accessory buildings* —Staff may issue a certificate of appropriateness for construction of rear yard accessory buildings which do not exceed 200 square feet in area nor nine feet in height, provided that the property is not a corner lot, and provided the facade material is masonry, wood, or cementitious composite board, and where the applicant does not otherwise conflict with the appropriate design guidelines or Zoning Ordinance.

k. *Commercial signage* —Staff may issue a certificate of appropriateness for installation of commercial signage in the historic district, provided that the signage meets all of the design guidelines and zoning regulations.

l. *Non-contributing or non-historic buildings* —Staff may issue a certificate of appropriateness for rehabilitation or modification on non-contributing, non-historic buildings if such is done in keeping with the appropriate historic guidelines or if no significant alteration is proposed.

(5) *Amendments to the list of minor works.* Additions, subtractions or changes to the list of minor works may be accomplished by the following procedure:

- a. At the direction of a majority of the board, staff will prepare a revised list of minor works to be included on the agenda of a regularly scheduled meeting of the Brunswick Historic Preservation Board.
- b. At the regular meeting, the board will review and vote on the revised list of minor works. Should the list be approved by the board, staff will forward the list to the commission of the City of Brunswick.
- c. The commission of the City of Brunswick will approve the revised list of minor works or return the list, with edits to the board.

(h) *Public hearings on applications for certificates of appropriateness, notices, and right to be heard:* The board shall hold a public hearing at which each proposed certificate of appropriateness is discussed. Notice of the hearing shall be posted on the subject property stating the time and place of the meeting and a brief description of the project. The notice shall be posted no later than one business day after the application is received by the board staff. The commission shall give the property owner and/or applicant an opportunity to be heard at the certificate of appropriateness hearing.

(i) *Acceptable board reaction to applications for certificate of appropriateness:* Board action: The board may approve the certificate of appropriateness as proposed, approve the certificate of appropriateness with any modifications it deems necessary, or reject it.

(1) The board shall approve the application and issue a certificate of appropriateness if it finds that the proposed material change(s) in the appearance would not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic property or the historic district. In making this determination, the board shall consider, in addition to any other pertinent factors, the following criteria for each of the following acts:

- a. *Reconstruction, alteration, new construction or renovation:* The board shall issue certificates of appropriateness for the above proposed actions if those actions conform in design, scale, building materials, setback and site features, and to the secretary of interior's standards for rehabilitation and guidelines for rehabilitating historic buildings.
- b. *Relocation:* A decision by the board approving or denying a certificate of appropriateness for the relocation of a building, structure, or object shall be guided by:

1. The historic character and aesthetic interest the building, structure or object contributes to its present setting.
 2. Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be.
 3. Whether the building, structure or object can be moved without significant damage to its physical integrity.
 4. Whether the proposed relocation area is compatible with the historical and architectural character of the building, structure, site or object.
- c. *Demolition:* A decision by the board approving or denying a certificate of appropriateness for the demolition of buildings, structures, sites, or objects shall be guided by:
1. The historic, scenic, or architectural significance of the building, structure, site or object.
 2. The importance of the building, structure, site or object to the ambiance of a district.
 3. The difficulty or the impossibility of reproducing such a building, structure, site or object because of its design, texture, material, detail, or unique location.
 4. Whether the building, structure, site or object is one of the last remaining examples of its kind in the neighborhood or the city.
 5. Whether there are definite plans for use of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be.
 6. Whether reasonable measures can be taken to save the building, structure, site or object from collapse.
 7. Whether the building, structure, site or object is capable of earning reasonable economic return on its value.
 8. The authority of the city commission or a court of competent jurisdiction to order demolition of unfit structures pursuant to chapter 12, article IV of this Code.
- (j) *Undue hardship:* When, by reason of unusual circumstances, the strict application of any provision of this division would result in the exceptional practical difficulty or undue economic hardship upon any owner of a specific property, the board, in passing upon applications, shall have the power to vary or modify strict provisions, so as to relieve such difficulty or hardship; provided such variances, modifications, or interpretations shall remain in harmony with the general purpose and intent of said provisions, so that the architectural or historical integrity, or character of the property, shall be conserved and substantial justice done. To consider variances for undue hardship, the board may request additional, reasonable information from the applicant that it deems necessary to determine a case of undue hardship. In granting variances, the board may impose such reasonable and additional stipulations and conditions as will, in its judgment, best fulfill the purpose of this division. An undue hardship shall not be a situation of the person's own making, but is:
- (1) A problem unique to a specific property; or
 - (2) In order to comply with this article, the person will be in conflict with another ordinance of the city.
- (k) *Deadline for approval or rejection of application for certificate of appropriateness:*
- (1) The board shall approve or reject an application for a certificate of appropriateness within 45 days after the filing thereof by the owner or occupant of a historic property, or of a building structure, site, or object located within a historic district. Evidence of approval shall be by a certificate of appropriateness issued by the commission. Notice of the issuance or denial of a certificate of appropriateness shall be sent by United States mail to the applicant and all other persons who have requested such notice in writing filed with the commission.
 - (2) Failure of the board to act within said 45 days shall constitute approval, and no other evidence of approval shall be needed.
- (l) *Necessary action to be taken by board upon rejection of application for certificate of appropriateness:*
- (1) In the event the board rejects an application, it shall state its reasons for doing so, and shall transmit a record of such actions and reasons, in writing, to the applicant. The commission may suggest alternative courses of action it thinks proper if it disapproves of the application submitted. The applicant, if he or she so desires, may make modifications to the plans and may resubmit the application at any time after doing so.
 - (2) In cases where the application covers a material change in the appearance of a structure which would require the

issuance of a building permit, the rejection of the application for a certificate of appropriateness by the board shall be binding upon the building inspector or other administrative officer charged with issuing building permits and, in such a case, no building permit shall be issued.

(m) *Requirement of conformance with certificate of appropriateness:*

- (1) All work performed pursuant to an issued certificate of appropriateness shall conform to the requirements of such certificate. In the event work is performed not in accordance with such certificate, the board shall notify the building official to issue a cease and desist order and all work shall cease.
- (2) The board and the Brunswick City Commission shall be authorized to institute any appropriate action or proceeding in a court of competent jurisdiction to prevent any material change in appearance of a designated historic property or historic district, except those changes made in compliance with the provisions of this division or to prevent any illegal act or conduct with respect to such historic property or historic district.

(n) *Certificate of appropriateness void if construction not commenced:* A certificate of appropriateness shall become void unless construction is commenced within six months of date of issuance. A certificate of appropriateness shall be issued for a period of 18 months and is renewable by the board upon request of the applicant.

(o) *Recording an application for certificate of appropriateness:* The board shall keep a public record of all applications for certificates of appropriateness, and all the board's proceedings in connection with said application.

(p) *Acquisition of property:* The board may, where such action is authorized by the Brunswick City Commission and is reasonably necessary or appropriate for the preservation of a unique historic property, enter into negotiations with the owner for the acquisition by gift, purchase, exchange, or otherwise, to the property or any interest therein, as allowed by Georgia Law.

(r) *Appeals:* Any person adversely affected by any determination made by the board relative to the issuance or denial of a certificate of appropriateness may appeal such determination to the Brunswick City Commission. Any such appeal must be filed with the Brunswick City Commission within 15 days after the issuance of the determination pursuant to section 2-25(h)(1) of this division or, in the case of a failure of the board to act, within 15 days of the expiration of the 45 day period allowed for the board action, section 2-25(h)(2) of this division. Appeals for properties within the City of Brunswick shall be made to the Brunswick City Commission. The Brunswick City Commission may approve, modify, or reject the determination made by the board, if the governing body finds that the board abused its discretion in reaching its decision. Appeals from decisions of the Brunswick City Commission may be taken to the Superior Court of Glynn County in the manner provided by law for appeals from conviction for the City of Brunswick ordinance violations.

(Ord. No. 1034, 1-22-2014)

Sec. 5-26. - Maintenance of historic properties and building and zoning code provisions.

- (a) *Ordinary maintenance or repair.* Ordinary maintenance or repair of any exterior architectural feature in or on an historic property, to correct deterioration, decay or damage, or to sustain the existing form, and that does not involve a change in the design, material, texture or the exterior appearance thereof, does not require a certificate of appropriateness.
- (b) *Failure to provide minimum maintenance and repair.* Property owners of historic properties or properties within historic districts shall not allow their buildings to deteriorate by failing to provide ordinary maintenance or repair. The board shall be charged with the following responsibilities regarding deterioration by neglect.
 - (1) The board shall monitor the condition of historic properties and existing buildings in historic districts to determine if they are being allowed to deteriorate by neglect. Such conditions as broken windows, doors and exterior openings which allow the elements and vermin to enter, or the deterioration of a building's structural system shall constitute failure to provide ordinary maintenance or repair.
 - (2) In the event the board determines a failure to provide ordinary maintenance or repair, the board will notify the building inspector to initiate actions dictated in chapter 12 of the code of the City of Brunswick.
- (c) *Affirmation of existing building and zoning codes:* Nothing in this division shall be constructed as to exempt property owners from complying with existing city building and zoning codes, nor prevent any property owner from making any use of this property not prohibited by other statutes, ordinances or regulations.

(Ord. No. 1034, 1-22-2014)

Sec. 5-27. - Penalty provisions.

Violations of any provisions of this division shall be punished in the same manner as provided in chapter 1, section 1-6 of the code. Each day that work is conducted without a certificate of appropriateness, each day that work does not comply with an issued certificate of appropriateness, or each day that work is not initiated to remedy a lack of minimum maintenance and repair constitutes a separate violation and is subject to the penalties set forth for such violations.

(Ord. No. 1034, 1-22-2014)

Sec. 5-28. - Severability.

In the event that any section, subsection, sentence, clause or phrase of this division shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the other sections, sentences, clauses, or phrases of this division, which shall remain in full force and effect, as if the section, subsection, sentence, clause or phrase so declared or adjudged invalid or unconstitutional were not originally part thereof.

(Ord. No. 1034, 1-22-2014)

Secs. 5-29—5-34. - Reserved.

DIVISION 2. - DESIGNATED HISTORIC DISTRICTS

Sec. 5-35. - Old Town Brunswick Historic Preservation District.

- (a) There is hereby designated pursuant to the provisions of division 1 of this article and the terms of state law a historic district which shall be referred to as the "Old Town Brunswick Historic Preservation District" and which shall be bounded on its northern side by "H" Street, on its east by Martin Luther King Boulevard, on its south side by First Avenue and on its west side by the western bank of the East River. Said historic district shall not, however, include the property, currently known as part of the Brunswick Landing Marina tract, which is located in the northwestern corner of the district area, and which lies west of Bay Street, east of the East River's eastern bank, north of a line following the southern edge of the right-of-way of F Street if said street were extended westward to the East River, and south of a line following the northern edge of the right-of-way of H Street if said street were extended westward to the East River.
- (b) A list of the names and addresses of the properties located in said district and the owners thereof shall be attached to and incorporated into this subsection (b) as though fully quoted verbatim herein, and shall be maintained along with the original ordinance [Ordinance No. 942] with the public records of this city.
- (c) The boundaries of the said district shall be designated on the official zoning map of the city.
- (d) No material change in the appearance of a structure, site, or work or art within such district shall be made or be permitted to be made by the owner or occupant thereof, unless and until application for a certificate of appropriateness has been submitted to and approved by the historic preservation board as provided for in division 1 of this article.

(Ord. No. 942, § 1, 6-7-2000; Ord. No. 959, § 1, 3-3-2004)

Editor's note— Ord. No. 942, § 1, adopted June 7, 2000, added new provisions to the Code as §§ 5-21—5-24; said provisions have been redesignated as § 5-35(a)—(d), at the discretion of the editor, in order to provide for the future expansion of art. II.

Sec. 5-36. - Oak Grove Cemetery local landmark site.

- (a) There is hereby designated pursuant to the provisions of Division 1 of this article and the terms of state law a local landmark site which shall be referred to as "Historic Oak Grove Cemetery" and which shall be located at 1500 Mansfield Street, Brunswick, Georgia.

- (b) The property "Oak Grove Cemetery", located at 1500 Mansfield Street, is owned by the City of Brunswick.
- (c) The location of the said landmark shall be designated on the official zoning map of the city.
- (d) No material change in the appearance of the structure, site, or work of art on the property shall be made or be permitted to be made by the owner or occupant thereof, unless and until application for a certificate of appropriateness has been submitted to and approved by the historic preservation board as provided for in division 1 of this article.

(Ord. No. 1039, § 1, 2-18-2015)

Sec. 5-37. - Historic building demolition procedure.

- (a) *Purpose.* This section is adopted for the purpose of protecting the historic and aesthetic qualities of the city by preserving, rehabilitating or restoring, whenever possible, buildings or structures which contribute or reflect distinctive features of the architectural or historic resources of the city, thereby promoting the public welfare and preserving the cultural heritage of the city. A demolition delay ordinance will provide time to explore demolition alternatives, such as developing adaptive reuses for the building or structure, locating purchasers, or moving the building or structure to a new location.

- (b) *Definitions.* As used in this chapter, the following terms shall mean:

Commission: Mayor and Commission of the City of Brunswick.

Demolition permit: The permit issued by the city as required by the Brunswick Building Code for the demolition, partial demolition or removal of a building or structure.

Historically significant building or structure: Any building or structure which (1) is listed on the National Register of Historical Places; (2) is listed on the current Historic Inventory of Brunswick; (3) is located within any National Register or local historic district; or (4) was constructed in whole or part prior to 1940.

HP Board: The Brunswick Historic Preservation Board.

Planner: Planner or Planning Director of the City of Brunswick.

Review period: The review period of a complete application by the historic preservation board. The period shall be 120 days from the date a complete demolition application is submitted to the HP board. The period may be extended by written agreement of the applicant and HP board.

- (c) *Procedure.*

- (1) Preamble. No permit for the demolition of a historically significant building or structure shall be granted unless it is first submitted to the planning department for review and comment in accordance with the provisions of this section. Any project in which the city is the project proponent or is required to complete a federal environmental review pursuant to N.E.P.A. shall be exempt from this section, but shall comply with the requirements of subsection (d) below.
- (2) Prior to submittal of a demolition or relocation permit, all requests which include exterior demolitions or relocations shall first obtain approval of an exterior demolition or relocation review application from the planning department.
- (3) Complete applications shall include all of the information requested on the application form, including photographs of all affected exterior elevations and information pertaining to the age of the structure if available.
- (4) Within ten days of receipt of a complete application the planning department staff shall make a determination of eligibility for a review.
- (5) An exterior demolition or relocation application shall be considered eligible for review if staff determines that the application seeks to demolish or relocate a historically significant building or structure as defined herein.
- (6) The following applications shall be exempt from the 180-day review period:
 - a. Accessory structures of less than 250 square feet of gross floor area;
 - b. Any structure determined by the chief building official to be an imminent and substantial danger to the health or safety of the public due to deteriorating conditions;
 - c. Any structure deemed un-repairable by the planning department and placed on the city's dilapidated structures list.

- (7) Upon the determination of the planning department that an application seeks a demolition permit for a historically significant building or structure, the planner shall forward a copy thereof to the commission and the HP board. No demolition permit shall be issued at that time.
- (8) The HP board shall hold a public hearing within 30 days of receiving a copy of such application, and shall give public notice thereof by publishing notice of the time, place and purpose of the hearing in a local newspaper at least 14 days before said hearing. The HP board shall also send notice at least 14 days prior to said hearing to any person whose property abuts the building or structure and abutters within 300 feet of the property line of the building or structure as determined from the records of the city assessors. All costs related to the public hearing shall be borne by the applicant.
- (9) The planner shall post a sign or signs on any land upon which an application with respect to relocation or demolition has been made not less than seven days after the completed application is accepted by the planning department. Such sign shall show the date of construction of the existing building and be erected in full view of the public on each street side of such land. Where such land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land concerning a public hearing is scheduled. Such sign shall be posted in full view of the public and shall be maintained by the applicant until final determination has been made by the HP board.
- (10) At least 14 days prior to the date of the public hearing, the applicant for demolition shall provide the following to the HP board along with the completed demolition application:
 - a. A copy of the assessors map showing the location of the building or structure with reference to lot lines and abutting buildings and structures;
 - b. Photographs of all street façade elevations;
 - c. A written description of the building or structure, or part thereof, to be demolished;
 - d. Reason(s) for the proposed demolition and data supporting said reason, including data sufficient to establish any economic justification for demolition; and
 - e. A description of the proposed reuse of the parcel on which the building or structure is located.
- (11) At the hearing, the HP board shall determine whether the demolition of the historically significant building or structure would be detrimental to the historical, cultural, or architectural heritage or resources of the city and should be preferably preserved. The HP board shall consider the following in making its decision:
 - a. The building or structure is of such interest or quality that it would meet National Historical Register criteria for designation as a historical or architectural landmark;
 - b. The building or structure is of such unusual or uncommon design, texture, or material that it could not be reproduced without great difficulty or expense;
 - c. The building or structure is of such architectural or historic interest that its removal would be a detriment to the public interest;
 - d. Retention of the building or structure would help preserve and protect a historic place or area of historic interest in the city;
 - e. The reason(s) for the proposed demolition and data supporting said reason, including data sufficient to establish any economic justification for demolition; and
 - f. The proposed reuse of the parcel on which the building or structure is located.
- (12) The HP board shall make its written determination within 14 days of the close of the public hearing and shall notify the applicant via certified mail. If the HP board determines that the demolition of the historically significant building or structure would not be detrimental to the historical, cultural or architectural heritage or resources of the city, the planner shall issue the demolition permit forthwith. If the HP board determines that the demolition of the historically significant building or structure would be detrimental to the historical, cultural or architectural heritage or resources of the city, a demolition delay shall be imposed and no demolition permit shall be issued for the remainder of the review period. If a delay is imposed, the HP board and the planner shall work with the property owner to identify viable alternatives to demolition and to develop a historic preservation plan for the property.

- (13) Upon receipt of notice that a demolition delay has been imposed, the applicant shall secure the building or site against vand or other destruction and shall post a notice of the determination on the building in a place visible from the nearest public wa
- (14) If the HP board fails to hold a public hearing within the time specified herein, or if the HP Board fails to notify the applicant of its determination following a public hearing within the time specified herein, the demolition of the historically significant building or structure shall be deemed to not be detrimental to the historical, cultural or architectural heritage or resources of the city and the planner shall issue the demolition permit upon the expiration of the applicable time period.
- (15) The written determination or lack of action of the HP board may be used for the purposes of Section 106 of the National Historic Preservation Act of 1966 as amended (36 CFR 800).

(d) *Procedure for city projects.*

- (1) For any demolition project for a historically significant building or structure in which the city is the project proponent or in which the city is required to prepare a federal environmental review pursuant to N.E.P.A., a demolition review shall be conducted by the HP board upon the commencement of a project and concurrent with the other required regulatory reviews.
- (2) The city manager's office shall issue a notice of intent to demolish a historically significant building or structure to the HP board, by certified mail or hand delivered. The notice shall include a description of the proposed demolition, the funding sources, and the proposed reuse of the property. A copy of the notice shall also be provided to the planner.
- (3) Within 30 days of receipt of a notice of intent to demolish, the HP board shall hold a public hearing in accordance with the procedures set forth herein for other projects.
- (4) Within 14 days of the close of the public hearing, the HP board shall issue its written determination to the commission and the planner by certified mail or hand delivery. If the HP board determines that the demolition of the historically significant building or structure would not be detrimental to the historical, cultural or architectural heritage or resources of the city, the project may move forward and there shall be no further review by HP board when the demolition permit is applied for. If the HP board determines that the demolition of the historically significant building or structure would be detrimental to the historical, cultural or architectural heritage or resources of the city, a demolition delay shall be imposed and no demolition permit shall be issued for the remainder of the review period.
- (5) If the HP board fails to hold a public hearing within the time specified herein, or if the HP board fails to notify the commission and planner of its determination following a public hearing within the time specified herein, the demolition of the historically significant building or structure shall be deemed to not be detrimental to the historical, cultural or architectural heritage or resources of the city and the commissioner shall issue the demolition permit upon the expiration of the applicable time period.
- (6) If a demolition delay is imposed pursuant to this section, the HP board and planner shall work to develop a viable historic preservation plan and to identify alternatives to demolition. The HP board shall present the same to the commission.
- (7) Upon the expiration of the delay period, the project may move forward and there shall be no further review by HP board when the demolition permit is applied for. If no action is taken on the historically significant building or structure within three years of issuance of consent for demolition, the city manager's office must issue another notice of intent to demolish for said property to the HP board.
- (8) The written determination or lack of action of the board may be used for the purposes of Section 106 of the National Historic Preservation Act of 1966 as amended (36 CFR 800).

(e) *Emergency demolition.*

- (1) Notwithstanding the above provisions, the planner may issue a demolition permit at any time for a historically significant building or structure in the event of imminent and substantial danger to the health or safety of the public due to deteriorating conditions.
- (2) Notwithstanding the above provisions, the planner may issue a demolition permit at any time for a historically significant building or structure located outside of a historic district in the event that the structure has been deemed unreparable by the planner and placed on the city's dilapidated structures list.

- (3) The planner shall document in writing the findings and reasons requiring an emergency demolition or placement of structure. Dilapidated structures list and shall forward a copy to the commission and HP board.
- (4) No provision of this section is intended to conflict with or abridge any obligations or rights conferred by Brunswick Code regarding the removal or demolition of dangerous or abandoned structures. In the event of a conflict, the provisions of the more stringent ordinance shall control.

(Ord. No. 1049, § 1, 5-17-2017)

Secs. 5-38—5-45. - Reserved.

EXHIBIT E

**OLD TOWN BRUNSWICK
HISTORIC RESOURCES SURVEY REPORT
Phase II – 2004/2005**



Prepared for:

The Brunswick Downtown Development Authority

By

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**OLD TOWN BRUNSWICK
HISTORIC RESOURCES SURVEY
Phase II - 2004/2005**

Prepared for the
Brunswick Downtown Development Authority

By

QUATREFOIL CONSULTING
Robert A. Ciucevich, M.P.H. – Project Manager, Historic Preservation Planner



September 2005

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ACKNOWLEDGMENTS

Special thanks to Mathew Hill, Program Assistant with the Brunswick Downtown Development Authority, who served as project supervisor. He administered the grant, guided the survey, and coordinated project tasks with Quatrefoil Consulting. He provided tremendous assistance and moral support throughout the duration of the project.

This survey was greatly enhanced through the generous cooperation of many individuals in Brunswick. They provided information about their residences and business establishments, shared their personal histories, recounted memories of their neighborhoods, and occasionally gave impromptu tours of the interior of their buildings.

Finally, we thank the Historic Preservation Division, especially Kenneth Gibbs, Georgia Historic Resources Survey Director, and Carol Moore, Historic Preservation Division Grants Coordinator. Their expertise in guiding the administration of this project was critical to its success.

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Figure 1: 1893 Sanborn Fire Insurance Map of Brunswick

SECTION 1: PROJECT DESCRIPTION

Phase II of the Old Town Brunswick Historic Resources Survey was conducted as part of an ongoing collaboration between the Brunswick Downtown Development Authority and the Old Town Brunswick Preservation Association. The purpose of the project is to identify and survey all qualifying historic resources located within the boundaries of the Old Town Brunswick National Register Historic District. Listed in 1978, the survey will serve as an up-to-date inventory of all contributing buildings within the district, as well as identify all non-contributing and non-historic buildings and their concentrations. During the first phase of the survey project, which was completed in 2002, roughly half of the historic district was completed, resulting in the identification of 380 historic resources. Phase II of the survey continues where the 2002 survey left off with the purpose of surveying all remaining resources located within the boundaries of the Old Town Brunswick historic district. Phase II of the survey was funded through a Certified Local Government (CLG) Survey and Planning Grant from the Historic Preservation Division of the Georgia Department of Natural Resources and matched in part by the City of Brunswick. All phases of the survey were conducted by Robert A. Ciucevich of Quatrefoil Consulting in consultation with Mathew Hill, Program Assistant for the Brunswick Downtown Development Authority.

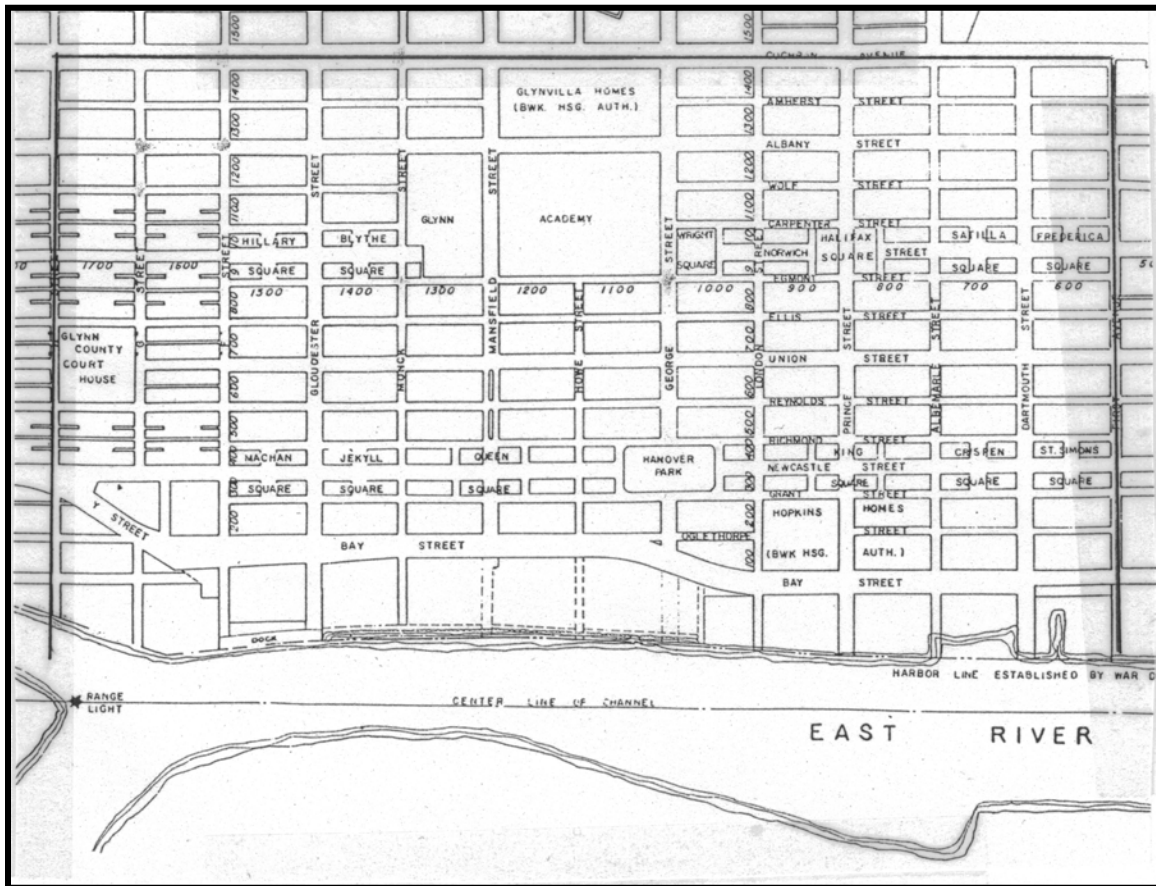


Figure 2: Old Town Brunswick Historic Resources Survey Area

SECTION 2: METHODOLOGY

Survey procedures outlined in the Georgia Historic Resources Survey Manual provided by the Historic Preservation Division were followed throughout Phase II of the Old Town Historic Resources Survey. The surveyor conducted a preliminary area analysis field survey of the survey area during which the different types of historic properties, locations of their major concentrations, and general periods and patterns of development of the historic resources were identified. Following this, an intensive field survey was performed in which all properties deemed to be 50 years or older were photographed, marked on a community base map, and a Georgia Historic Resource Survey form completed. Those resources that suffered a significant loss of integrity were excluded from the survey. Following the field survey, all data and digital photos were input in NAHRGIS, the Natural, Archeological, and Historic Resources Geographic Information Systems online data base. All data and digital photos resulting from this survey can be viewed by logging onto the NAHRGIS website, www.itos.uga.edu/nahrgis.

Phase I of the Old Town Brunswick Historic Resources Survey involved the western portion of the historic district and yielded a total of 380 historic resources. The survey included the downtown commercial district along Newcastle Street, the areas around the court house square, and concluded in the residential neighborhoods bordering Union Street and the area located in the vicinity of Hanover Square. The Phase I survey area is roughly bounded by H Street and First Avenue on the north and south, and Bay Street and Norwich Street on the west and east.

Phase II of the Old Town Brunswick Historic Resources Survey covers the remaining sections of the historic district east of Norwich Street, an area roughly bounded by Wolfe and Egmont Streets on the west, Martin Luther King, Jr. Boulevard on the east, and H and First Avenue on the north and south. The survey includes the commercial area along Norwich Street, the neighborhoods surrounding Wright and Halifax Squares, as well as the late 19th and early 20th century working class neighborhoods centered on Albany Street that developed as a result of the proximity of the railroad and other industries along Cochran Street (now MLK, Jr. Boulevard).

Sanborn Maps located in the map collection at the Glynn County Public Library were used extensively in determining the date of construction of the resources. Historical information for the preparation of the developmental history of Brunswick and the Old Town District, as well as the background information of the individual properties, was obtained through research at the Georgia Historical Society, the various branches of the Chatham-Effingham County Library System, and the Glynn County Public Library. A number of local informant interviews were conducted as well.

While it is possible that a historic property may have been inadvertently omitted from this survey, whether as a result of physical changes that have obscured its historic character or to borderline age, the surveyor believes that the vast majority of historic resources located within the survey area have been documented by this project.

SECTION 3: SURVEY RESULTS

A total of 394 historic resources were surveyed during Phase II of the Old Town Brunswick Historic Resources Survey. A survey index listing the survey field number, Georgia Historic Resources Survey Resource ID number, historic name (if applicable), address, academic style, academic type, construction date, and National Register eligibility can be found in the appendices.

Construction Dates

In analyzing the results for property distribution by common historical time periods, the majority of resources surveyed were built between 1880 and 1919, or the period of the New South. In Brunswick, this was a time for rebuilding the City, which was burned by Governor's decree following the evacuation of the coast by Confederate forces during the winter of 1862. This was also a great period of prosperity in which Brunswick developed into the second largest port for naval stores in the world. A total of 227 historic resources, or 57.6% of the properties surveyed during Phase II, date from this period.

The following is a chronological list of the major historical time periods represented in the survey:

- ❖ Civil War/Reconstruction (1860-1879) – 1 historic resource
- ❖ New South (1880-1919) – 227 historic resources (57.6%)
- ❖ Roaring Twenties (1920-1929) – 42 historic resources (10.7%)
- ❖ Great Depression (1930-1939) – 58 historic resources (14.7%)
- ❖ World War II/pre-Cold War (1940-1949) – 25 historic resources (6.3%)
- ❖ Cold War (post 1950) – 35 historic resources (8.9%)

Table 1. Breakdown of Resources by Construction Date

Time Period	Number of Resources
1860 – 1869	1
1870 – 1879	2
1880 – 1889	16
1890 – 1899	83
1900 – 1909	61
1910 – 1919	64
1920 – 1929	42
1930 – 1939	58
1940 – 1949	25
1950 – 1959	33
1960 – 1964	2

Original Use

In analyzing the results for original use, an overwhelming majority of resources were single family residential. A total of 352 resources, or 89.3% of the buildings surveyed in this section, fell into this category. Most of the remaining resources surveyed are commercial, institutional, or religious buildings located in or around the Brunswick downtown commercial district.

Table 2. Breakdown of Resources by Original Use

Original Use	Number of Resources
Single Family Residential	352
Multiple Family-Duplex	5
Multiple Family – Apartment Building	1
Secondary Dwelling/Carriage House	1
Professional-Business/Office	2
Retail Store/Shop	8
General Store	4
Auto Dealership	3
Church	4
Sunday School Building	2
Rectors House/Office	1
Fire Station	1
Bus Station	1
Theater/Opera Hall/Cinema	1
Fraternal/Patriotic Organization	1
Garage/Auto Repair Shop	3

SECTION 4: DEVELOPMENTAL HISTORY

England assumed control of coastal south Georgia following Spain's abandonment of Florida in 1763 as a result of their defeat in the French and Indian War. The crown, by proclamation, extended its authority to the St. Mary's River in Georgia, and in 1765, four new parishes were created in the area.

In 1770 the town of Brunswick, in St. David's County, was established on part of the land originally settled by Mark Carr, known as Carr's Fields. In May of 1771 the Governor's Council approved zoning regulations for Brunswick and appointed George McIntosh surveyor general to lay out the town. Forty lots were set aside for public use and the land under the bluff opposite each street fronting the river would be reserved for public landing places. Lots were surveyed as early as 1772 and some were granted by July. Grants continued until 1774 when the activities leading up to Revolutionary War disrupted the further development of the town. In 1778 British troops occupied Brunswick, which was practically abandoned for the duration of the Revolution.

In 1788 the State of Georgia passed a law establishing eight commissioners for Brunswick charging them to re-survey Brunswick "as near as possible to the original (1771) plan or survey." Another law was passed to the same effect in 1796 calling for the "speedy settlement of the said town of Brunswick." The Surveyor General, George Purvis, sketched the plan for the town that same year. The plan is remarkably similar to that of Savannah's, being laid out in wards with trust lots surrounding central squares in each ward. Two rows of 5 wards each extend eastward from the Bay. The larger squares were named Hillsborough, Wright, Halifax, Queen, Hanover, and King.

With new settlers coming into the county from Virginia and the Carolina's, Brunswick experienced a period of growth. With its fine natural harbor, Brunswick was made an official port of call in 1789, and in 1797, it was chosen as the seat of Glynn County. Efforts were made by the city fathers to build Brunswick into a shipping and commercial center that would rival Savannah. A newspaper, a bank, a hotel, and other amenities that would be found in a port town of the day were established. In his *Gazetteer of Georgia* for 1827, the Rev. Adiel Sherwood described Brunswick as having "one of the most commodious harbours in the State, having 18 feet of water on the Bar ... Brunswick contains a Court House, Jail, Academy and 15 houses and stores ... It owns several tons of shipping. Population 30 whites and several blacks."

Brunswick continued to develop and in 1836 the city was incorporated. In 1837 the original town plan, known as "Old Town," was expanded to accommodate the growing city. This additional acreage, referred to as "New Town", called for the creation of a large open park, now the site of the Glynn County Courthouse (the original courthouse site was Hanover Square). In 1838 work was begun on the Brunswick-Altamaha Canal, an enterprise aimed at redirecting trade on the Altamaha to Brunswick. The canal opened in the 1850s at which time construction was started on the first railroad to Brunswick.

Brunswick's growth and prosperity was once again interrupted by war. In the winter of 1862 a general Confederate withdrawal was ordered for the seacoast and islands of

Georgia. In giving this order, General Robert E. Lee suggested to Governor Joseph Brown that the destruction of Brunswick would be in the best interest of the Confederacy. In a letter dated February 18, 1862, Lee wrote:

“In giving final orders for the defense of that portion of the State, I wish to give directions in reference to the town of Brunswick, provided the enemy attempt to possess. Besides the moral effect of showing our determination to defend the country at any sacrifice, its destruction would deprive the enemy of comfortable quarters in a healthy position, which they might otherwise be tempted to occupy during the continuance of the war, the present buildings saving them much labor and expense, and the hotel serving as a hospital for their sick. As there are other considerations besides those, purely military, involved in this question, I am unwilling to order destruction of the town without the knowledge and approbation of Your excellence.”

In a letter written February 21, 1862, Governor Brown responded:

“... In reference to the other point in your letter I have to say that if my own house were in Brunswick I would certainly set fire to it, when driven from it by the enemy, rather than see it used by them as a shelter.”

Old Town Brunswick was apparently burned shortly thereafter, as a Union report issued two weeks later on March 9, 1862, conveyed the news that upon arriving in Brunswick and coastal Glynn County, “all locations were found to be abandoned in keeping with the general Confederate withdrawal from the seacoast and coastal islands.”

Following the end of the Civil War and Reconstruction, Brunswick quickly began to recover. During the late 1870s and early 1880s, Brunswick became a port of clearance for shipments of lumber and naval stores from the surrounding area. With the development of a South Atlantic Coast Railroad system extending from the deep-water ports to the inland, Brunswick and the region began to grow and prosper. Dry docks, lumber mills, a foundry, and turpentine stills lined the waterfront. With this growth was also the promotion of Brunswick and the Golden Isles as a “charming Winter resort,” which attracted Northern interest.

In 1885 Brunswick had a population of 5,000, but most of the buildings were modest frame structures. The town lacked the grandeur of a port town of its stature. Later that same year a fire destroyed much of the commercial district. In addition to the fire, the commercial area was subject to flood as Mansfield Street was little more than a tidal inlet. In 1887 all of the remaining frame buildings along Newcastle Street from F to George Street were raised. A building boom ensued as merchants began rebuilding the commercial district in brick and tabby. Public improvements such as efforts to pave the streets and sidewalks, the introduction of the street railroad, and the establishment of the Brunswick Gas and Electric Company in the 1880s, accelerated the growth of Brunswick

By 1888 the population of Brunswick had doubled to 10,000. It was during this time that much of the residential section of the Old Town District began to take shape. Building

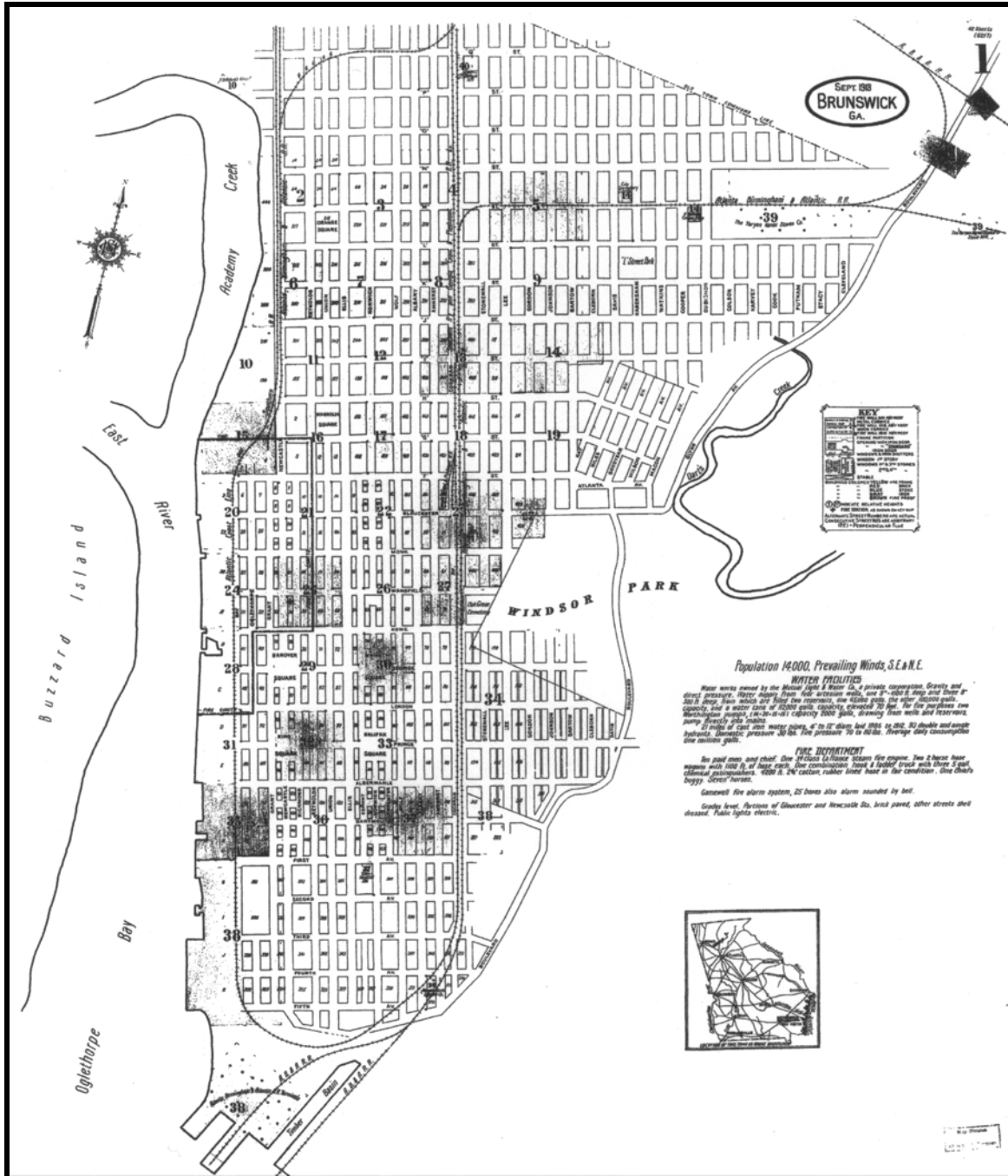


Figure 3: 1913 Sanborn Fire Insurance Map of Brunswick

and loan associations like the Mechanics Building and Loan Association enabled residents to build new houses in the modern styles of the day. The 1892 Brunswick City Directory listed 15 contractors and 83 carpenters. Contractors and investors took advantage of the demand for new quality houses by developing speculative housing projects in the district. It was a common practice for a contractor to build identical houses side by side, or several adjacent houses in the same style with some variation, in

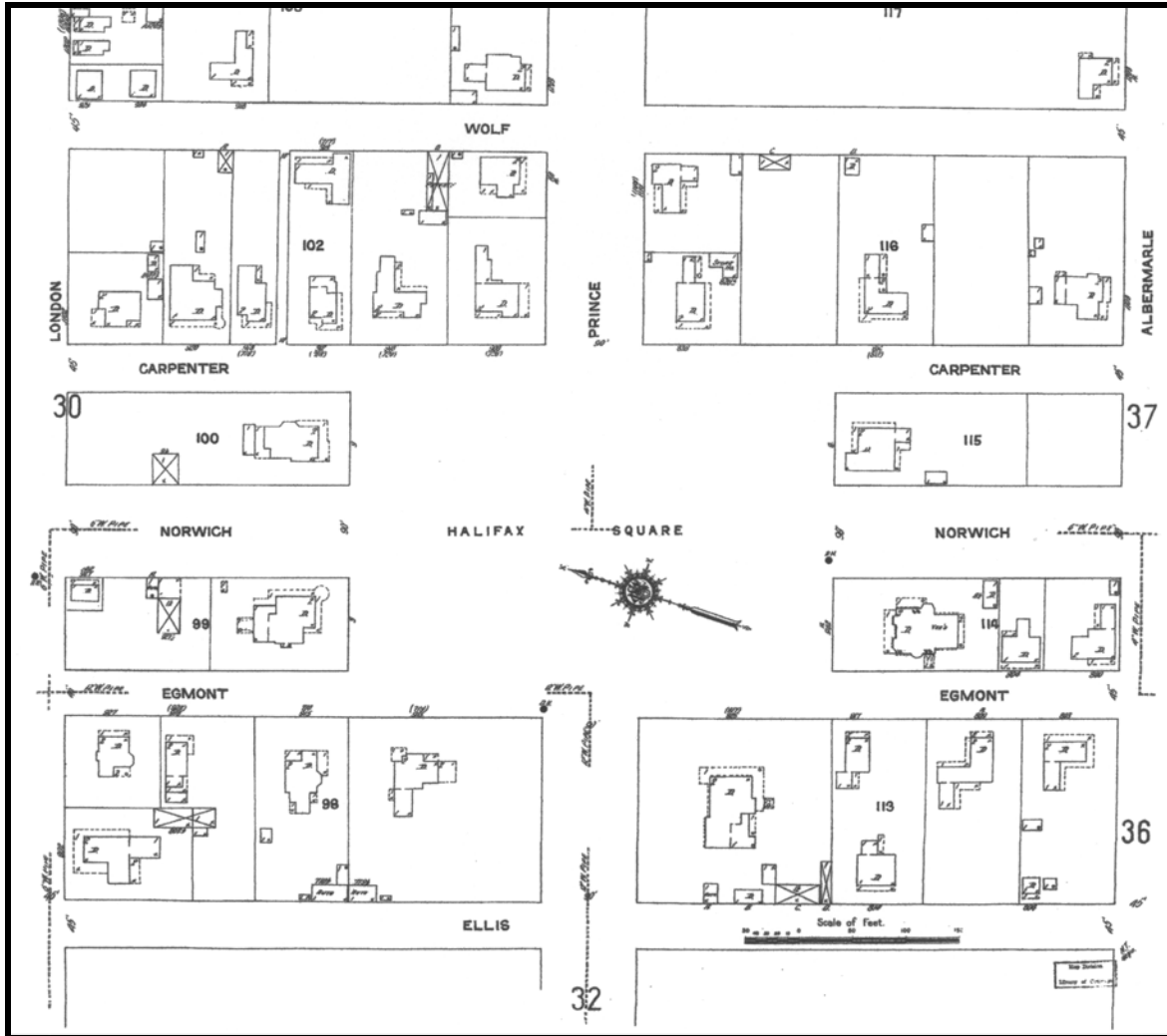


Figure 4: Halifax Square – 1913 Sanborn Fire Insurance Map

anticipation of their sale. Many examples of this can be found along Union and adjacent Streets.

By the end of the 19th century Brunswick was enjoying a period of unparalleled prosperity. The city attracted new enterprises and businesses, built new residential and municipal buildings, hotels, and an opera house. By the turn of the century Brunswick was recognized as the second largest shipping port in the world for naval stores.

The book Georgia Historical and Industrial , published in 1901 by the Georgia Department of Agriculture, attests to the city’s remarkable growth during this time:

“The commerce of the city has grown from \$500,000 in 1884 to \$38,000,000 in 1899, The Mallory Line of freight and passenger steamers runs from Brunswick to New York, and the Clyde line from Brunswick to Boston. There are steamboat lines to Darien, St.

Simons Island, to Cumberland, and Fernandina, Florida; also a tri-weekly one to points on the Satilla River. The cotton exports for the past season were 25,000 bales ...”

Brunswick’s role as a shipping and distribution center for the regional timber and naval stores industry continued to grow during the 1910s and 1920s. Brunswick’s commercial district centered along Newcastle Street was largely intact by this time, while the remaining lots in the residential areas located in the southern section of the Old Town district were being built out.

Yaryan’s Rosin and Turpentine Company was one of Brunswick’s first large industries during the early 1900s. Shipbuilding remained a primary industry, and at the onset of World War I, shipyards along the waterfront built several ships and barges to meet the wartime demand. Although lumbering and shipbuilding began to decline in Brunswick and Glynn County during the 1920s, many major national industries were attracted to the area due to its ideal location and well developed transportation network. In 1920 the Hercules Powder Company purchased the Yaryan Rosin and Turpentine Plant and developed the site into the largest plant of its kind in the world. Other major industries that had built manufacturing facilities in the county by the 1930s were the Georgia Veneer and Packaging Company, the Georgia Rosin Products Company, the Southern Aromatics Company, the Brunswick Marine Construction Company, and the Brunswick Pulp and Paper Company (an affiliate of the Mead Coloration and Scott Paper Company).

During World War II Brunswick’s shipyards built cargo ships for the merchant marine, which were known as “Liberty Ships.”

SECTION 5: ARCHITECTURAL ANALYSIS

The Phase II of the Old Town Brunswick Historic Resources Survey yielded a great deal of information about the architectural make up of the areas considerable historic resources. While the survey form presents specific information about each individual property, the following are general analyses of the following areas:

- ❖ Architectural Style
 - A) General Outline of Styles

- ❖ Building Type
 - A) General Outline of Building Types
 - B) Outbuildings

- ❖ Structural Characteristics and Building Materials



Photo 1: 1018 Carpenter Street (c1895-04) – #201158. One of a row of three identical “side hallway cottages” facing Wright Square.

Architectural Style

Of the historic resources surveyed, 198 properties, or 50% of the buildings surveyed, are representative of an academic architectural style. Some resources were found to exhibit elements of two or more styles, in which there were 9 instances of secondary stylistic elements. As indicated in Table 3, Craftsman and Folk Victorian are the most common architectural styles found in the Old Town Brunswick Phase II survey area, representing 37.8% and 29.7% of examples surveyed, respectively. Although a majority of the resources exhibiting stylistic influences displayed elements or were vernacular expressions of various styles, several high style examples were identified during the survey.

Table 3. Breakdown of Resources by Architectural Style

Architectural Style	Number of Examples
No Academic Style	196
Craftsman	75
Colonial Revival	13
Folk Victorian	59
English Vernacular Revival	3
Queen Anne	27
Stick	8
Stripped Classical (Commercial)	5
Gothic Revival	1
Neoclassical Revival	1
Prairie	2
Moderne	2
Romanesque Revival	1
Spanish Colonial Revival	2

A) General Outline of Styles

The outline that follows provides an overview of the different academic architectural styles identified within the Phase II survey area and gives the architectural and historical contexts that shaped the development of these historic resources on a local, regional, and national level.

STICK
(c1860 – 1890)

The Stick style is a transitional style which links the preceding Gothic Revival style with the subsequent Queen Ann style: all three are free adaptations of Medieval English building traditions. Unlike earlier Gothic Revival houses, the Stick style stressed the wall surface itself as a decorative element rather than a mere plane with the decorative elements applied at the doors, windows, and cornice. The Stick style grew from the Picturesque Gothic ideals of Andrew Jackson Downing and flourished in pattern books of the 1860s and 1870s. During the 1880s the style was rapidly replaced by the Queen Ann movement, which furthered the emphasis on patterned wood walls begun in the Stick style. Use of the Stick style was most prevalent in the northeastern states during its early period and in the San Francisco area, where the style developed its own characteristics during the 1880s.

Common characteristics of the Stick Style include a gabled roof, usually steeply pitched with cross gables; gables commonly show decorative trusses at the apex; overhanging eaves, with shaped, exposed rafter ends; wood wall cladding (shingles or boards) interrupted by patterns of horizontal, vertical, and diagonal boards (stickwork) raised



Photo 2: Nightingale-Hughes House (c1875), 900 Carpenter Street

from the wall surface for emphasis; and porches commonly show diagonal or curved braces.

Eight (8) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey display elements of the Stick style. The presence of so many examples of the style in Old Town Brunswick as a whole is unusual in the South and probably represents one of the largest concentrations of the style in the Georgia. The Stick style accounts for 4% of surveyed properties conforming to an academic style.



Photo 3: 913 Egmont Street (1895-04) – Halifax Square

QUEEN ANNE 1880-1910

Queen Anne was the dominant style of domestic architecture in America from about 1880-until 1910. The style, which is based on Jacobean and Elizabethan precedents, was popularized by a group of English architects led by Richard Bernard Shaw. The style spread in America through pattern books as well as *The American Architect and Building News*, the country's first architectural magazine. The nation's expanding railroad network helped to popularize the style by making pre-cut architectural details readily available.

The style is principally categorized into subtypes by decorative detail, although shape subtypes exist as well. The earlier subtypes, those that employ half-timbering and patterned masonry, follow the models designed by Shaw and his English colleagues and are by far the least representative of the style in America. The Spindework and Free Classic subtypes, which are American interpretations of the style, became the most dominant expression during the 1880s and 1890s, respectively. The Spindework subtype features delicate gingerbread ornamentation, or Eastlake detailing, found in the porch balustrades or as a frieze, as well in gables and under wall overhangs left by cutaway bay windows. The Free Classic subtype utilizes classical columns rather than spindework detailing for porch supports and often exhibits other classical elements such as Palladian



Photo 4: Free Classic Queen Anne Subtype – 9 Halifax Square (c1890-99)



Photo 5: Spindlework Queen Anne Subtype - 915 Egmont Street (c1900)

windows and cornice-line dentils as well.

Common characteristics of all Queen Anne style houses include a steeply pitched roof, a dominant front facing gable, multi-material wall surfaces, and an asymmetrical façade with a one-story, partial or full width, wrap-around porch. Sash is usually single-pane, although stained glass and multi-pane windows are common as well.

Twenty-seven (27) buildings surveyed during Phase II of the Old Town Brunswick historic resources survey display elements of the Queen Anne style. The Queen Ann style accounts for 13.6% of surveyed properties conforming to an academic style.

FOLK VICTORIAN 1870-1910

The Folk Victorian style is defined by the presence of Victorian detailing on National Folk, or post-railroad house forms. The principle areas of elaboration are the porch and cornice line. Queen Anne-inspired spindlework detailing (turned spindles and lace-like spandrels), jig saw cut trim, and turned or chamfered posts are characteristic porch details. Italianate-inspired brackets are commonly found along the cornices. Although Folk Victorian houses share similar decorative detail, they are easily differentiated from Queen Anne style houses by virtue of their symmetrical façades and the lack of textured and varied wall surfaces that is characteristic of the former.

The growth of the railway system played a key role in the popularity of the Folk Victorian style in that it made possible the distribution of inexpensive, pre-cut Victorian detailing throughout the nation. Many builders simply grafted this newly available trim onto the traditional folk house forms they were familiar with. Pre-cut detailing was also used as a way to update an older folk form, often by adding a new Victorian porch.



Photo 6: 1005 Oak Place (c1890-99) – Satilla Square

Fifty-nine (59) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey display elements of the Folk Victorian style. The Folk Victorian style was the second most common architectural style identified within the survey area, accounting for 29.8% of surveyed properties conforming to an academic style.



Photo 7: 722 Carpenter Street (c1895-04)

COLONIAL REVIVAL 1880-1955

Colonial Revival was the dominant style for domestic buildings throughout the nation during the first half of the 20th century. The term “Colonial Revival” refers to the rebirth of interest in the early English and Dutch houses of the Atlantic seaboard that followed the Philadelphia Centennial Exposition of 1876. The style draws primary inspiration from Georgian and Adam prototypes, with secondary influences coming from Post-medieval English and Dutch Colonial sources. Examples exhibiting details from two or more of these precedents are common.

Early Colonial Revival style buildings were largely free interpretations of colonial precedents featuring exaggerated colonial decorative details. The Colonial Revival Movement of the late 19th century provided the inspiration for the Shingles style and the Free Classic subtype of the Queen Anne style, which was closely related to the asymmetrical Colonial Revival house.



Photo 8: 825 Albany Street (c1920-29)



Photo 9: 908 Carpenter Street (1920-29)

Wide distribution of books and magazines featuring measured drawings and photographs of colonial buildings during the first decades of the 20th century cultivated an interest in more historically correct copies of colonial prototypes with correct proportions and details. As a result, Colonial Revival style buildings built between 1915 and 1935 reflect these influences by more closely resembling colonial prototypes. As with all domestic architecture, post World War II tastes and trends lead to a simplification of the style during the 1940s and 1950s. Common characteristics of Colonial Revival-style houses include: a symmetrical façade; accentuated front door often featuring a pediment supported by pilasters or a small gabled stoop supported by slender columns; transom over the door or sidelights are common; windows have double hung sash, usually with multiple lights in one or both sashes; windows are frequently paired.

Thirteen (13) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey display elements of the Colonial Revival style. The Colonial Revival style accounts for 6.6% of surveyed properties conforming to an academic style.

CRAFTSMAN 1905-1930

Craftsman was the dominant style for smaller houses throughout the country in the first two decades of the 20th century. Craftsman houses were inspired by the work of Charles Sumner and Henry Mather Greene, two California architects who designed and executed a number of highly detailed landmark buildings that combine such influences as the English Arts and Crafts movement, Oriental wooden architecture, Swiss roof forms, and the manual arts. Vernacular versions of Greene and Greene's work was spread throughout the country through pattern books and popular magazines, quickly making the one-story Craftsman house the most popular and fashionable smaller house in the country.

Craftsman style houses feature a low-pitched roof, usually gable, with a wide, unenclosed eave overhang and exposed rafter ends. Other common details include knee braces, false beams, paired and casement windows, and square, battered columns resting on masonry piers.



Photo 10: 804 Albany Street (c1915-19)

Seventy-five (75) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey display elements or were considered good examples of the Craftsman style, making up 37.8% of properties surveyed that conform to an academic style. The Craftsman style is the most common architectural style found in the Phase II survey area.



Photo 11: 801 Albany Street (c1915-19)

Building Types

A total of 350 properties surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as conforming to one of the architectural types recognized by the Historic Preservation Division and identified in the Georgia Historic Resources Survey Manual. Table 4 lists 27 building types existing within the survey area. As indicated in Table 4, the bungalow (104 historic resources or 29.7%) and the shotgun (50 historic resources or 14.3%) are the most common building types identified in the survey area. 48 historic resources, or 12.2% of the total number of buildings surveyed, did not conform to any academic building type.

Table 4. Breakdown of Resources by Architectural Type

Architectural Building Type	Number of Examples
No Academic Type	48
Single Pen	1
Hall-parlor	13
Saddlebag	3
Central Hallway	12
Georgian Cottage	16
Shotgun	50
Side Gable Cottage	10
Side Hallway Cottage	3
Gable-ell Cottage	16
New South Cottage	7
Bungalow	104
English Cottage	2
Ranch	12
American Small House	7
I-house	1
Side Hallway	42
Gable Ell House	11
Georgian House	2
American Foursquare	1
New South House	1
Queen Anne House	2
Front Gable Church	2
Double Tower Church	2
Multiple Retail Commercial Building	5
Retail and Office Commercial Building	3
Community Store	1
Corner Store	2
Unknown	13
Other	1

A) General Outline of Types

The outline that follows provides an overview of the different academic building types found in the City of Harlem and gives the architectural and historical contexts that shaped the development of these historic resources on a local, regional, and national level.



Photo 12: Front gable bungalow – 1303 Dartmouth Street (c1920-29)

HALL-PARLOR

Hall-parlor houses, named after two old fashioned uses for rooms, are a traditional British folk form that consists of two unequal rooms. Entry is into the larger of the two rooms, the hall (not hallway), which served multiple functions. Almost always gabled, the hall-parlor house can have one or two exterior end chimneys, but typically features a single chimney in the parlor end. Although this house type is one of the earliest found in America, in Georgia most of the remaining examples were built in the last half of the 19th

century and the first three decades of the 20th. The type was adaptable and expandable and was popular for farm owners, tenant farmers, and mill workers alike.

Thirteen (13) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as hall-parlor type houses, making up 7.2% of surveyed properties conforming to an academic building type.



Photo 13: 1501 Amherst Street (c1898)

CENTRAL HALLWAY

This house type has proved a favorite for Georgians throughout the 19th century. It consists, as the name suggests, of a central passageway between two rooms. It is distinguished from other types with a central hallway being only one room deep. The central hallway type most frequently had a gable roof and exterior end chimneys on both ends. The type seems to be fairly evenly distributed across the state, appearing mainly on average sized farmsteads and on principle streets in Georgia's towns and cities. Most

examples of the type were built between 1830 and 1930, with clusters occurring in the periods 1840-1860 and 1870-1890.

Twelve (12) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as central hallway type houses, making up 3.4% of surveyed properties conforming to an academic building type.



Photo 14: 399 Norwich Street (c1915-19)

SHOTGUN

The shotgun house is a narrow, one-story urban form built in modest neighborhoods in expanding southern cities between 1880 and 1930. Shotgun houses are one room wide and two rooms deep. There is no hallway, and doors typically line up front to back. Although most shotgun houses have gabled roofs, hipped roofs were also used. Although some houses of the type feature Folk Victorian or classical detailing, most are in low-

income neighborhoods located near railroad and industrial sections of large towns and cities.

Fifty (50) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as shotgun type houses. The shotgun is the second most common building type identified within the survey area, accounting for 14.3% of surveyed properties conforming to an academic building type.



Photo 15: 916 Albany Street (c1910)

GABLE-ELL COTTAGE/GABLE ELL HOUSE

Gabel Ell Cottage

Of the late 19th century house types in Georgia, the gable-ell cottage perhaps has the most examples. In plan, it is T or L shaped, and usually, though not always, has a gabled roof.

Sometimes called the gable-front-and-wing house type, the gable-ell cottage consists of a gable front at one end of a recessed wing that is parallel to the façade. The front door, located in the recessed wing, may lead into a hallway or directly into the room in the wing. Fairly evenly distributed across Georgia, the gabled ell cottage was popular in both rural and urban areas in both modest and well-to-do neighborhoods. Its period of greatest popularity was 1875-1915.

Sixteen (16) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as gable-ell cottage type houses, making up 4.6% of surveyed properties conforming to an academic building type.



Photo 16: 1009 Wolfe Street (c1900-04)

Gable Ell House

The gable ell house is the two-story version of the gable ell cottage. T-shaped and usually gabled, the gable ell house type is far less common than the gable ell cottage. Most examples were built in the last quarter of the 19th century for well-to-do occupants, more often in Georgia's towns and cities rather than its rural areas.

Eleven (11) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as being of the gable ell house type, accounting for 3.1% of surveyed properties conforming to an academic building type.



Photo 17: 8 Halifax Square (c1890-99)

GEORGIAN COTTAGE

The Georgian cottage is possibly the single most popular and long-lived house type in Georgia. The Georgian cottage is named for its floor plan, not the state, and is derived from 18th century Georgian architecture. The Georgian plan consists of a central hallway with two rooms on either side. The plan shape is usually square or nearly square, and the chimneys are sometimes in the exterior walls but usually in the interior of the house,

between each pair of rooms. Houses of this type were built in all periods of Georgia history, well into the 20th century, but with greatest concentration between 1850 and 1890.

Sixteen (16) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as Georgian cottage type houses, making up 4.6% of surveyed properties conforming to an academic building type.



Photo 18: 1017 Albany Street (c1885-94)

NEW SOUTH COTTAGE

Named after the turn-of-the-century period of great economic growth and regional confidence, the New South cottage was a very popular house type built for middle and upper middle income Georgians between the 1890s and 1920s. The type features a central square mass, usually hip, with gabled projections. Unlike the similar Queen Ann cottage type, the New South cottage features a central hallway plan and exhibits an

emphasis on symmetry. The central hallway is flanked by pairs of rooms, one or both of which might project forward. A pair of gables in the façade, either over projecting rooms or flush with the wall of the main mass, provides additional emphasis on symmetry. Examples of the type can be found throughout Georgia in both urban and rural areas, although the greatest concentration is located in the state's largest cities and towns.

Seven (7) buildings surveyed during Phase II of the Old Brunswick Historic Resources Survey were identified as New South cottage type houses, making up 2% of surveyed properties conforming to an academic building type.



Photo 19: 1301 G Street (c1898-97)

BUNGALOW

Sometimes mistakenly referred to as a style, bungalow house forms are long and low with irregular floor plans within an overall rectangular shape. Integral porches are common, as are low-pitched roofs with wide overhangs. Bungalows were very popular in all regions of Georgia between 1900 and 1939, almost as popular in rural areas as in cities and towns. The bungalow type is divided into four subtypes based on roof forms and roof orientation: front gable, side gable, hip, and cross gable. The front and side

gable versions of the bungalow greatly outnumber hipped bungalows, while cross-gabled bungalows are rare.

One hundred and four (104) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as bungalow type houses. The bungalow is the most common building type identified within the survey area, accounting for 29.7% of surveyed properties conforming to an academic building type.



Photo 20: Prairie style bungalow – 917 Egmont Street (1915-19)

SIDE HALLWAY

The side hallway is relatively uncommon in Georgia. Most examples of the type are located in the state's oldest cities, where its narrow façade made it especially suitable for urban houses. Most early examples were built between 1820 and 1850 and are located in Savannah, where it is the most common house type, and in Augusta. The side hallway house is named after the location of the hallway at the side of the house. The hall normally contained a staircase, and was two rooms deep. There are three subtypes: the

row house, and attached single family house which shares a party wall; the Savannah house, detached with a raised basement; and the Augusta house, detached without a basement. Although most examples were built in the early 19th century, variations of the type persisted into the early 20th century. Late 19th century examples are typically three rooms deep, often displaying the basic side hallway form with the addition of rear wings and recessed porch.

Forty-two (42) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as side hallway type houses, accounting for 12% of surveyed properties conforming to an academic building type.



Photo 21: 719 Wolfe Street (c1890-99)

AMERICAN SMALL HOUSE

Also commonly referred to as the “post World War II house,” the ubiquitous American small house can be found in 1940s and early 1950s suburbs and subdivisions across America. Built to accommodate the staggering demand for housing precipitated by the large numbers of returning service men and their growing families following the defeat of the Axis Powers in 1945, these houses were designed to provide basic habitation for newly weds and beginning families. Inexpensive and easy to build, the American small

house was ideally suited to meet these needs. The type is characterized as a small, one-story, rectangular-shaped, two bedroom house of balloon frame construction. It typically features a side gable, asphalt shingle roof with little or no eave overhang and often features triangular shaped wood vents in side gables. Another common characteristic is the use of inexpensive replacement cladding, such as asbestos siding, as an original exterior siding (although the use of shiplap and clapboard siding is common as well). The basic floor plan of these houses is similar to other small houses of the era, being two unequal rooms wide by two rooms deep. Entry is in the living room, which is typically adjacent to the master bedroom located in the opposite front corner of the house. A small interior hallway located in the center of the house provides access to the kitchen (which is also accessed through the living room) and second bedroom, which flank a small bath located at the back of the house. These houses

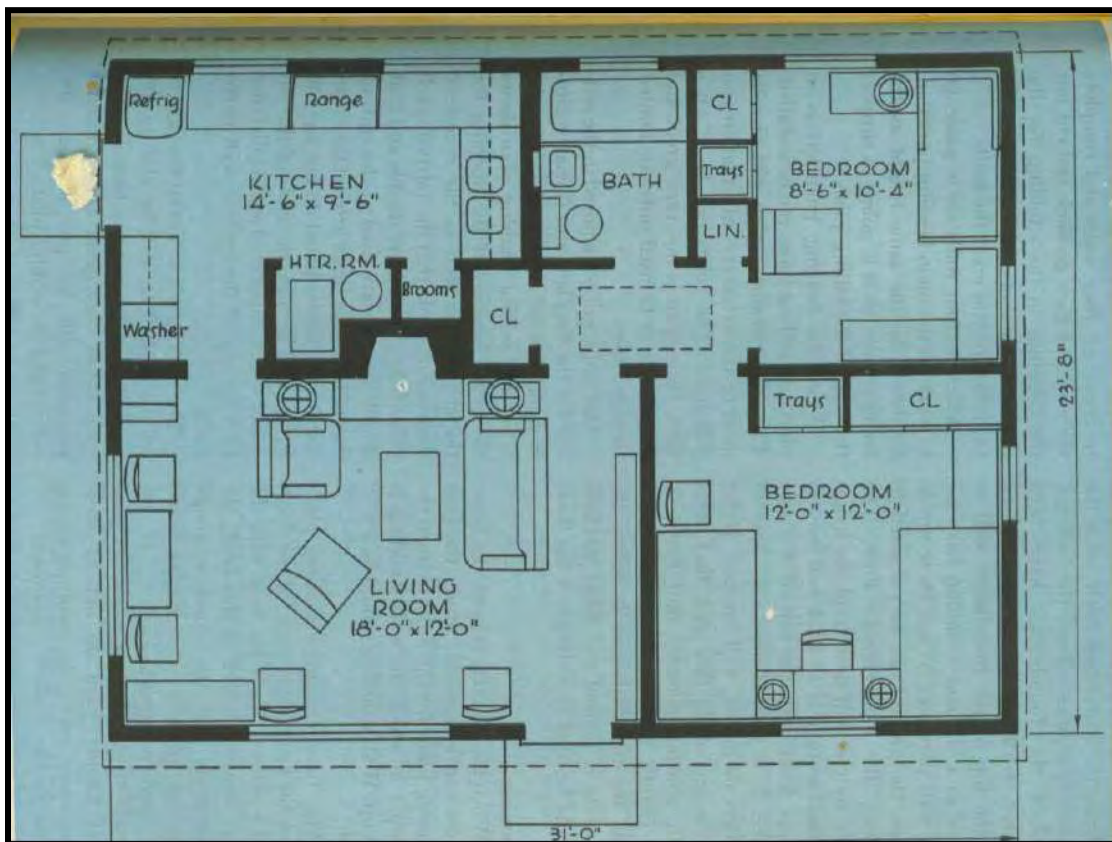


Figure 2: Floor Plan – Typical American small house type

(copied from *Your Dream Home – How to build it for Less Than \$3500*, by Hubbard Cobb, c1950)

sometime include a small dining room wing or sunroom located on the side of the house adjacent the living room and/or a small ell for extra living space on the rear of the house. These features are often historic additions that added in later years.



Photo 22: 810 Carpenter Street

Seven (7) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey were identified as an American small house, accounting for 2% of surveyed properties conforming to an academic building type.

RANCH (1935-1975)

The ranch house was originated in the mid-1930s by several creative California architects and gained popularity during the 1940s to become the dominant house type throughout the country during the decades of the 1950s and 1960s. The popularity of “rambling” ranch houses was made possible by the country’s increasing dependence on the automobile. Streetcar suburbs of the late 19th and early 20th centuries still used relatively compact house forms on small lots because people walked to nearby streetcar lines. As

the automobile replaced streetcars and buses as the principal means of personal transportation in the decades following World War II, compact houses could be replaced by sprawling designs on much larger lots. Never before had it been possible to be so lavish with land, and the rambling form of the ranch house emphasizes this by maximizing façade width (which is further increased by built-in garages that are an integral part of most ranch houses).



Photo 23: 1102 Albemarle Street (c1950-59)

The type is loosely based on early Spanish Colonial precedents of the American southwest, modified by influences borrowed from Craftsman and Prairie modernism of the early 20th century. Asymmetrical one-story shapes with low-pitched roofs dominate. Three common roof forms are used: the hipped version is probably the most common, followed by the cross-gabled, and, finally, side gabled examples. There is usually a moderate or wide eave overhang. This may be either boxed or open, with the rafters exposed as in Craftsman houses. Both wooden and brick wall cladding are used, sometimes in combination. Builders frequently add modest bits of traditional detailing, usually loosely based on Spanish or English precedents. Decorative iron or wooden porch supports and decorative shutters are the most common. Ribbon windows are frequent as are large picture windows in the living areas. Partially enclosed courtyards or patios, borrowed from Spanish houses, are a common feature. These private outdoor living areas to the rear of the house are a direct contrast to the large front and side porches of most late 19th and early 20th century types.

Twelve (12) buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey display elements of the Ranch type, making up 3.4% of surveyed properties conforming to an academic style

B) Outbuildings

During Phase II of the Old Town Brunswick Historic Resources Survey, a total of 51 outbuildings and structures were identified representing 8 historic uses recognized by the Historic Preservation Division and identified in the Georgia Historic Resources Survey Manual. This information is found in Table 5.

Table 5. Breakdown of Outbuildings by Use

Outbuilding	Number of Examples
Implement Shed	9
Barn/Shed	1
Garage	28
Garage Apartment	1
Office	1
Slave/Servant House	2
Secondary Dwelling	4
Mixed Use	3
Unknown Use	2

Structural Characteristics and Building Materials

In addition to analyzing the survey data for architectural style and building type, information relating to the type of construction, height, and building materials utilized for the exterior siding.

The majority of buildings surveyed during Phase II of the Old Town Brunswick Historic Resources Survey are balloon frame residential structures (331 properties or 84.7%) built

between 1880 and 1919, a period that spans the rebuilding of the town following the end of the Civil War and its development as a major port for the export of naval stores. Concrete block and tile block bearing were identified as the second and third most common types of construction, accounting for 5.6% and 5.1% of resources surveyed, respectively. Of the remaining resources, seven (7) buildings are of brick bearing construction, five (5) are of metal/steel frame construction, one is of tabby construction, and one is of mortise and tenon construction.

A total of 296 historic resources or 75.3% of the building surveys are one-story in height. Of the remaining historic resources, 77 buildings (19.6%) are two-story, 11 buildings (2.8%) are one-and-a-half story, and one building is two-and-a-half stories.

About three quarters of the resources appear to have retained their original historic siding, with 29.3% of the properties surveyed having clapboard siding, 25% having shiplap/novelty board siding, and 7% having brick exteriors. 24.6% of resources exhibited substitute siding such as asbestos shingle (12.4%), vinyl siding (8.1%) and tarpaper/asphalt sheeting (3.8%). This information is presented in Table 6.

Table 6. Breakdown of Resources by Exterior Materials

Exterior Materials	Number of Examples
Clapboard	115
Shiplap/Novelty Board	99
Wood Shingles	25
Brick – common bond	4
Brick - veneer	23
Brick – Flemish	1
Tile Block	14
Concrete Block	20
Stucco	24
Asbestos Siding	49
Masonite	3
Permastone	1
Plywood/Particle	5
Tarpaper/Asphalt Sheeting	15
Vinyl/Aluminum Siding	32
Unknown	1

SECTION 6: NATIONAL REGISTER ELIGIBILITY

Properties within the Phase II Survey Area that are Potentially Eligible for Individual Listing on the National Register of Historic Places

In reviewing the breakdown of surveyed properties that “appear” to be individually eligible and “may” be individually for inclusion on the National Register, 267 properties were identified. All of these resources were found to possess a qualifying degree of

individual significance as well as noteworthy architectural characteristics and a good level of integrity. Of the remaining surveyed properties, 29 resources required more information before a determination could be made, while 91 resources did not appear individually eligible for listing in the National Register. This information is listed in the survey index contained in the Appendices.

Contributing/Non-contributing Buildings w/in the Old Town Brunswick Historic District

There are approximately 1017 primary buildings located within the boundaries of the Old Town Brunswick Historic District. Combining the survey totals for Phase I and Phase II, 774 buildings, or 76%, were identified as contributing to the architectural character of the district. 243 buildings, or 24%, of the buildings within the district are non-contributing architecturally. These figures are listed below:

Number of Primary Buildings (approximate):	1017
Contributing Buildings:	774
Non-contributing Buildings:	243

SECTION 7: LOCAL PERSPECTIVES

The City of Brunswick is a Certified Local Government with an active historic preservation commission. The city actively pursues preservation planning grants and has recently commissioned the preparation of a master plan to guide revitalization of the downtown and river front areas, of which the Old Town Brunswick Historic District is an integral part.

Some of the basic problems in the commercial district stems from incompatible remodeling of storefronts and building exteriors. This is often results in the use of a faux tabby/shell exterior, which is also a problem with new construction in and around the district. The other major problem in the district is demolition by neglect. This problem is particularly acute in the areas of the district that were covered during Phase II of the survey. Abandoned and unsecured buildings, as well as deteriorated occupied buildings area a real problem for the continued viability of the district.

SECTION 8: BIBLIOGRAPHY

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APPENDIX A:
Index of Historic Resources Surveyed

<i>Survey Field #</i>	<i>Georgia Historic Resources Survey ID</i>	<i>Address and/or Resource Name</i>	<i>Arch. Style</i>	<i>Building Type</i>	<i>Date of Constr.</i>	<i>NR Indiv. Elig.</i>
382	201077	929 Egmont Street	Queen Anne	American Foursquare	1910	Yes
383	201068	919 Egmont Street	Stick/Folk Victorian	Side Hallway	1910	Yes

384	201069	917 Egmont Street	Prairie	Bungalow	1915-19	Yes
385	201070	915 Egmont Street	Queen Anne	Queen Anne Hse	c1900	Yes
386	201071	913 Egmont Street	Stick	Gable Wing Hse	1895-04	Yes
387	201094	928 Egmont Street	Craftsman	Bungalow	c1935	Yes
388	201115	Major Downing House 825 Egmont Street	Queen Anne	N/A	c1886	Yes
389	201116	817 Egmont Street	Queen Anne /Col Revival	N/A	1890-99	Yes
390	201117	807 Egmont Street	Craftsman	Bungalow	1925-29	May
391	201118	805 Egmont Street	Craftsman	Bungalow	1930-39	May
392	201119	729 Egmont Street	N/A	Side Hallway	1900-09	No
393	201120	727 Egmont Street	N/A	Hall-parlor	1920-29	No
394	201121	721 Egmont Street	N/A	Bungalow	1920-29	M/Info
395	201122	717 Egmont Street	Folk Vict.	Gable Wing Cott	1890-99	May
396	201123	713 Egmont Street	N/A	Georgian Cott.	1900-09	No
397	202301	722 Ellis Street	N/A	Side Hallway	c1910	No
398	202302	718 Ellis Street	N/A	Bungalow	c1910	Maybe
399	201124	729 Norwich Street	Folk Vict.	Central Hallway	1915-19	M/Info
400	201125	725 Norwich Street	Folk Vict.	Gable Wing Cott	1895-04	Yes
401	201126	719 Norwich Street	N/A	Gable Wing Cott	1910-19	May
402	201127	629 Norwich Street	Queen Anne		1890-99	May
403	201128	621 Norwich Street	N/A		c1910	No
404	201129	619 Norwich Street	N/A	I-House	c1910	May
405	201130	Scarlett House 902 Wright Square	Folk Vict.	Side Hallway	c1890	Yes
406	201131	8 Wright Square	Spanish Col. Revival		1920-29	No
407	201132	3 Halifax Square	Queen Anne	Side Hallway	c1890	Yes
408	201133	9 Halifax Square	Queen Anne		1890-99	Yes
409	201138	Baker House, 902 Halifax Square	Queen Anne		c1896	Yes
410	201134	8 Halifax Square	Stick/Folk Victorian	Gable Wing Hse	1890-99	Yes
411	201135	1005 Oak Place (Satilla Square)	Folk Vict.	Side Hallway	1890-99	May
412	201136	1000 Oak Place (Satilla Square)	N/A	Side Hallway	1890-99	May
413	201156	Baumgartner House 1 Frederica Square	Queen Anne	Gable Wing Hse	c1890	Yes
414	201157	1022 Carpenter Street	Folk Vict.	Side Hallway	1890-99	M/Info
415	201158	1018 Carpenter Street	Folk Victorian	Side Hallway Cottage	1895-99	Yes
416	201159	1014 Carpenter Street	Folk Victorian	Side Hallway Cottage	1895-99	Yes
417	201160	1012 Carpenter Street	Folk Victorian	Side Hallway Cottage	1895-99	Yes
418	201161	1010 Carpenter Street	Craftsman	Gable Wing Cott	1895-99	Yes
419	201162	1008 Carpenter Street	Folk Vict.	Gable Wing Cott	1895-99	Yes
Survey Field #	Georgia Historic Resources Survey ID	Address and/or Resource Name	Arch. Style	Building Type	Date of Constr.	NR Indiv. Elig.
420						
421	201164	927 Carpenter Street	N/A	Bungalow	1930-39	May
422	201165	919 Carpenter Street	English Vern. Rev.	Bungalow	1940-49	May

423	201166	920 Carpenter Street	N/A	Georgian Cott.	c1910	May
424	201167	918 Carpenter Street	Queen Anne		1890-99	Yes
425	201168	912 Carpenter Street	Queen Anne	N/A	1890-99	No
426	201169	908 Carpenter Street	Col. Revival	Georgian House	1920-29	Yes
427	201170	Nightingale-Hughes House 900 Carpenter Street	Stick	Gable Wing House	c1875	Yes
428	201171	814 Carpenter Street	Col. Revival	N/A	1895-99	Yes
429	201172	810 Carpenter Street	N/A		1940-49	May
430	201173	806 Carpenter Street	Folk Vict.		1930-39	M/Info
431	201174	724 Carpenter Street	N/A		1950-54	No
432	201175	722 Carpenter Street	Folk Vict.	N/A	1895-99	Yes
433	201176	718 Carpenter Street	Folk Vict.		1895-99	No
434	201177	710 Carpenter Street	Craftsman	Side Hallway	1890-99	Yes
435	201178	706 Carpenter Street	Folk Vict.	Side Hallway	1890-99	Yes
436	201179	621 Carpenter Street	N/A	N/A	1940-49	No
437	201180	610 Carpenter Street	N/A	N/A	1940-49	No
438	201181	606 Carpenter Street	N/A		c1935	May
439	201182	1025 Wolfe Street	N/A	Hall-parlor	c1900	May
440	201183	1023 Wolfe Street	N/A	Shotgun	1900-05	No
441	201184	1021 Wolfe Street	N/A	Shotgun	1900-05	May
442	201185	1008 Wolfe Street	Craftsman	Bungalow	1930-39	May
443	201186	1017 Wolfe Street	Folk Vict.	Gable Wing Cott	1900-05	May
444	201187	1013 Wolfe Street	N/A	Gable Wing Cott	1900-05	May
445	201188	1011 Wolfe Street	N/A	Gable Wing Cott	1900-04	No
446	201189	1009 Wolfe Street	N/A	Gable Wing Cott	1900-04	Yes
447	201190	918 Wolfe Street	N/A	N/A	c1900	No
448	201191	817 Wolfe Street	Craftsman	Bungalow	1925-34	No
449	201192	818 Wolfe Street	N/A	Bungalow	1935-39	Yes
450	201193	815 Wolfe Street	Craftsman	Ranch	1945-54	May
451	201194	814/814 ½ Wolfe Street	N/A	N/A	1925-34	No
452	201195	810 Wolfe Street	Craftsman	Hall-parlor	c1950	M/Info
453	201196	807 Wolfe Street	N/A	N/A	1945-49	No
454	201197	808 Wolfe Street	N/A	Bungalow	1945-49	May
455	201198	806 Wolfe Street	N/A	N/A	1940-49	May
456	202303	724 Wolfe Street	N/A	Bungalow	1950-54	Yes
457	201199	718 Wolfe Street	N/A	Bungalow	1950-54	No
458	201200	719 Wolfe Street	Folk Vict.	Side Hallway	1890-99	Yes
459	201201	707 Wolfe Street	Craftsman	Bungalow	1920-29	Yes
460	201202	711 Wolfe Street	N/A	Bungalow	c1950	No
461	201203	708 Wolfe Street	Craftsman	Bungalow	1930-39	Yes
462	201204	613 Wolfe Street	N/A	Bungalow	1940-49	No
463	201205	616 Wolfe Street	N/A	N/A	1945-49	No
464	201206	611 Wolfe Street	Craftsman	Bungalow	1940-49	May
465	201207	609 Wolfe Street	N/A	Bungalow	1920-30	Yes
466	201208	603 Wolfe Street	N/A	Hall-parlor	1900-09	No
Survey Field #	Georgia Historic Resources Survey ID	Address and/or Resource Name	Arch. Style	Building Type	Date of Constr.	NR Indiv. Elig.
467	201221	601 Wolfe Street	N/A	Side Hallway	1900-09	M/info
468	201222	1023 Albany/1201 George Street	Folk Vict.	Gable Wing Cott	1885-89	Yes
469	201223	Henry C. Day House 1021 Albany Street	Craftsman/ Folk Vict.	Side Hallway	1875-79	Yes

470	201224	1017 Albany Street	Folk Vict.	Georgian Cott.	1885-94	Yes
471	201225	1013 Albany Street	Folk Vict.	Georgian Cott.	1885-94	Yes
472	201226	1007 Albany Street	N/A	Shotgun	1900-07	May
473	201227	1005 Albany Street	N/A	Shotgun	1900-07	May
474	201228	1003 Albany Street	N/A	Shotgun	1900-07	May
475	201229	1001 Albany Street	N/A	Shotgun	1900-07	No
476	201230	1022 Albany Street	Folk Vict.	Side Hallway	1890-99	Yes
477	201235	1018 Albany Street	N/A	Bungalow	1930-39	No
478	201236	1016 Albany Street	Craftsman	Bungalow	1925-34	Yes
479	201237	1012 Albany Street	N/A	Shotgun	c1900	Yes
480	201238	1008 Albany Street	N/A	Shotgun	c1900	Yes
481	201239	1006 Albany Street	N/A	Shotgun	c1900	Yes
482	201240	922 Albany Street	Craftsman	Bungalow	1915-19	May
483	201241	918 Albany Street	Craftsman	Central Hallway	1895-04	Yes
484	201242	916 Albany Street	Folk Vict.	Shotgun	c1910	May
485	201243	912 Albany Street	N/A	Bungalow	1935-39	May
486	201244	825 Albany Street	Col. Revival	Central Hallway	1920-29	Yes
487	201245	815 Albany Street	N/A	Gable Wing Hse	1920-29	May
488	201246	807 Albany Street	Craftsman	Bungalow	1915-24	Yes
489	201247	805 Albany Street	N/A	N/A	c1940	Yes
490	201248	801 Albany Street	Craftsman	Bungalow	1915-19	Yes
491	201249	828 Albany Street	Queen Anne	Side Hallway	c1885	Yes
492	201250	822 Albany Street	Col. Revival	Bungalow	1950-54	Yes
493	201251	820 Albany Street	Craftsman	Bungalow	1950-54	May
494	201252	812 Albany Street	Stick	N/A	c1885	Yes
495	201253	804 Albany Street	Craftsman	Bungalow	1915-19	Yes
496	201254	800 Albany Street	Craftsman	Bungalow	1915-19	Yes
497	201260	711 Albany Street	Prairie	N/A	c1910	Yes
498	201261	709 Albany Street	Folk Vict.	Side Hallway	1890-99	Yes
499	201262	726 Albany Street	N/A	Bungalow	1950-54	May
500	201263	623 Albany Street	Craftsman	Bungalow	1930-39	May
501	201264	621 Albany Street	Craftsman	Bungalow	1930-39	Yes
502	201265	613 Albany Street	N/A	N/A	c1910	M/Info
503	201266	620 Albany Street	N/A	Ranch	1950-59	No
504	201267	616 Albany Street	N/A	N/A	1950-59	No
505	201268	612 Albany Street	N/A	N/A	1950-59	No
506	201269	1016 Amherst Street	N/A	Side Gable Cott.	1940-49	No
507	201270	1014 Amherst Street	N/A	Side Gable Cott.	1940-49	No
508	201311	1011 Amherst Street	Craftsman	Bungalow	1930-39	May
509	201312	1009 Amherst Street	N/A	Bungalow	1920-29	M/Info
510	201313	922 Amherst Street	Craftsman	Bungalow	c1910	May
511	201314	921 Amherst Street	Craftsman	Bungalow	1925-29	Yes
512	201315	917 Amherst Street	N/A	Shotgun	1930-39	Yes
513	201316	915 Amherst Street	N/A	Shotgun	c1910	May

<i>Survey Field #</i>	<i>Georgia Historic Resources Survey ID</i>	<i>Address and/or Resource Name</i>	<i>Arch. Style</i>	<i>Building Type</i>	<i>Date of Constr.</i>	<i>NR Indiv. Elig.</i>
514	201317	912 Amherst Street	N/A	Bungalow	1930-39	Yes
515	201318	910 Amherst Street	N/A	Shotgun	1905-14	May
516	202304	908 Amherst Street	N/A	Bungalow	c1910	May
517	202272	904 Amherst Street	N/A	Shotgun	1905-09	No

518	202273	902 Amherst Street	N/A	Shotgun	1905-09	May
519	201336	820 Amherst Street	N/A	Side Hallway	1900-09	No
520	201338	818 Amherst Street	N/A	Shotgun	c1910	No
521	201341	812 Amherst Street	N/A	N/A	1950-54	No
522	201347	806 Amherst Street	N/A	N/A	1900-09	M/Info
523	201352	804 Amherst Street	N/A	Side Gable Cott.	1900-90	M/Info
524	201394	802 Amherst Street	Folk Vict.	New South Cott.	c1910	M/Info
525	201415	720 Amherst Street	Folk Vict.	Side Hallway	1890-99	No
526	201416	719 Amherst Street	N/A	Ranch	1950-59	May
527	201417	718 Amherst Street	N/A	N/A	1950-59	No
528	201418	716 Amherst Street	N/A	Ranch	1950-59	Yes
529	201419	702 Amherst Street	Folk Vict.	Bungalow	1913-19	May
530	201420	700 Amherst Street	Craftsman	Bungalow	1920-29	Yes
531	201421	621 Amherst Street	N/A	Ranch	1950-59	No
532	201492	622 Amherst Street	N/A	Georgian Cott.	1913-19	May
533	201493	617/619 Amherst Street	N/A	N/A	1913-19	No
534	201494	606 Amherst Street	Craftsman	Bungalow	1930-39	Yes
535	201495	604 Amherst Street	N/A	Ranch	1950-59	No
536	201496	1925 Martin Luther King, Jr. Blvd.	N/A	Shotgun	c1910	No
537	201497	1923 Martin Luther King, Jr. Blvd.	N/A	Shotgun	c1910	M/Info
538	201498	929 Martin Luther King, Jr. Blvd.	N/A	Single Pen	1905-14	No
539	201499	927 Martin Luther King, Jr. Blvd.	N/A	Shotgun	1920-29	M/Info
540	201500	919 Martin Luther King, Jr. Blvd.	N/A	N/A	1950-54	No
541	201501	917 Martin Luther King, Jr. Blvd.	N/A	N/A	1950-54	No
542	201533	913 Martin Luther King, Jr. Blvd.	N/A	Hall-parlor	1905-14	No
543	201534	911 Martin Luther King, Jr. Blvd.	N/A	Gable Wing Cott	c1910	May
544	201535	909 Martin Luther King, Jr. Blvd.	Folk Vict.	N/A	c1910	Yes
545	201536	821 Martin Luther King, Jr. Blvd.	N/A	Hall-parlor	1905-09	No
546	201538	811 Martin Luther King, Jr. Blvd.	Craftsman	Bungalow	1920-29	May
547	201541	719 Martin Luther King, Jr. Blvd.	N/A	N/A	1940-49	No
548	201681	611 Martin Luther King, Jr. Blvd.	N/A	Bungalow	1940-49	M/Info
549	201682	603 Martin Luther King, Jr. Blvd.	N/A	Bungalow	1930-39	No
550	201683	1100 George Street	N/A	Am Small House	c1950	May
551	201684	1108 George Street	N/A	Hall-parlor	c1900	Yes
552	201685	1202 George Street	Folk Vict.	Gable Wing Hse	1895-04	Yes
553	201686	1302 George Street	Queen Anne	Side Hallway	1885-94	Yes
554	201687	1306 George Street	Folk Vict.	Side Hallway	1890-99	Yes
555	201688	1308 George Street	Stick	Side Hallway	1890-99	Yes
556	201689	1102 George Street	Queen Anne	N/A	c1885	Yes
557	201690	1201 London Street	Craftsman	Bungalow	1930-39	Yes
558	201691	1205 London Street	Folk Vict.	Saddlebag	c1910	May
559	201708	1207 London Street	N/A	Shotgun	1900-07	M/Info
560	201709	1300 London Street	N/A	Corner Store	c1910	May
561	201710	1310 London Street	Craftsman	Bungalow	1930-39	Yes
562	201711	1406 London Street	N/A	N/A	c1910	Yes
Survey Field #	Georgia Historic Resources Survey ID	Address and/or Resource Name	Arch. Style	Building Type	Date of Constr.	NR Indiv. Elig.
563	201712	801 Prince Street	N/A	N/A	1950-54	Yes
564	201720	Whittle-Sims Hse, 1102 Prince St.	Col. Revival		c1899	Yes
565	201723	Lamb House, 1110 Prince Street	Stick/Queen Anne	Gable Wing House	1885-94	Yes

566	201724	1111 Prince Street	Folk Vict.	Gable Wing Hse	1890-99	Yes
567	201725	McCullough-Ferguson House 1200 Prince Street	Craftsman	Bungalow	1913-19	Yes
568	201726	1203 Prince Street	Queen Anne	Side Hallway	c1891	Yes
569	201727	1209 Prince Street	Spanish Col. Revival	N/A	1920-29	Yes
570	201728	Prince/Albany Streets	Queen Anne	Gable Wing Hse	1890-99	Yes
571	201729	1305 Prince Street	N/A	Bungalow	1930-39	No
572	201730	1405 Prince Street	N/A	Bungalow	1913-19	No
573	201731	1400 Prince Street	N/A	Side Hallway	1900-09	Yes
574	201732	1402 Prince Street	N/A	Side Hallway	1900-09	Yes
575	201733	1404 Prince Street	N/A	Side Hallway	1900-09	May
576	201734	1406 Prince Street	N/A	Side Hallway	1900-09	Yes
577	201735	1408 Prince Street	N/A	Side Hallway	1900-09	Yes
578	201736	1410 Prince Street	N/A	Side Hallway	1900-09	Yes
579	201737	1102 Albemarle Street	N/A	Ranch	1950-59	May
580	201738	1108 Albemarle Street	N/A	Ranch	1940-49	May
581	201739	1103 Albemarle Street	Stick/Queen Anne	Side Hallway	1885-94	Yes
582	201740	1109 Albemarle Street	N/A	Ranch	1950-59	No
583	201741	1203 Albemarle Street	N/A	Side Hallway	c1908	Yes
584	201742	1310 Albemarle Street	Col. Revival	Bungalow	1930-39	Yes
585	201743	1311 Albemarle Street	Craftsman	Bungalow	1913-19	Yes
586	201744	1400 Albemarle Street	Craftsman	Bungalow	1930-39	May
587	201746	1412 Albemarle Street	N/A	N/A	1945-49	No
588	201747	Community Store, 1401 Albemarle	N/A	Comm. Store	1930-39	No
589	201748	1411 Albemarle Street	Craftsman	Bungalow	c1910	May
590	201749	903 Dartmouth Street	Queen Anne	Gable Wing Hse	1890-99	Yes
591	201750	1002 Dartmouth Street	Folk Vict.	Gable Wing Hse	1895-04	May
592	201757	1004 Dartmouth Street	Folk Vict.	Central Hallway	1890-99	Yes
593	201758	1102 Dartmouth Street	N/A	Ranch	1945-49	May
594	201759	1103 Dartmouth Street	N/A	N/A	1935-39	Yes
595	201760	1109 Dartmouth Street	Craftsman	Bungalow	1913-19	Yes
596	201765	1111 Dartmouth Street	Craftsman	Bungalow	1913-19	May
597	201767	1302 Dartmouth Street	Queen Anne	Side Hallway	c1885	Yes
598	201771	1310 Dartmouth Street	N/A	N/A	1950-54	No
599	201773	1301 Dartmouth Street	Queen Anne	N/A	c1910	Yes
600	201774	1303 Dartmouth Street	Craftsman	Bungalow	1920-29	Yes
601	201777	1311 Dartmouth Street	Craftsman	Bungalow	1913-19	Yes
602	201779	1400 Dartmouth Street	N/A	Bungalow	1913-19	Yes
603	201781	805 First Avenue	N/A	N/A	1950-54	May
604	201782	1107 First Avenue	Folk Vict.	Gable Wing Cott	c1910	M/Info
605	201783	1512 J.F. Mann Way	Folk Vict.	Side Hallway	1890-99	May
606	201784	1720 Wolfe Street	N/A	Side Hallway	1890-97	May
607	201797	1715 Wolfe Street	N/A	Ranch	c1950	May
Survey Field #	Georgia Historic Resources Survey ID	Address and/or Resource Name	Arch. Style	Building Type	Date of Constr.	NR Indiv. Elig.
608	201798	1713 Wolfe Street	Craftsman	Bungalow	1930-39	No
609	201799	1709 Wolfe Street	Craftsman	Bungalow	1930-39	May
610	201800	1705 Wolfe Street	N/A	N/A	1908-12	May
611	201809	1701 Wolfe Street	Folk Vict.	Side Gable Cott	1908-12	No

612	201810	1706 Wolfe Street	EV Revival	English Cottage	1930-39	Yes
613	201811	1704 Wolfe Street	N/A	Shotgun	1900-07	May
614	201812	1700 Wolfe Street	Col. Revival	Bungalow	1920-29	Yes
615	201813	1627 Wolfe Street	N/A		1890-97	No
616	201814	1623 Wolfe Street	N/A	Shotgun	1890-97	May
617	201816	1621 Wolfe Street	Folk Vict.	Bungalow	c1910	Yes
618	201817	1617 Wolfe Street	N/A	Bungalow	1925-34	May
619	201818	1613 Wolfe Street	N/A	Shotgun	1890-99	No
620	201819	1611 Wolfe Street	N/A	Shotgun	1890-97	No
621	201820	1609 Wolfe Street	Folk Vict.	Shotgun	1908-12	May
622	201821	1622 Wolfe Street	N/A	Shotgun	1920-29	No
623	201822	1620 Wolfe Street	Craftsman	Bungalow	1930-39	May
624	201807	1616 Wolfe Street	Folk Vict.	Side Hallway	1930-39	May
625	201828	1614 Wolfe Street	Folk Vict.	Side Hallway	1930-39	May
626	201830	1612 Wolfe Street	Craftsman	Bungalow	1930-39	Yes
627	201824	1610 Wolfe Street	N/A	Shotgun	1930-39	Yes
628	201827	1606 Wolfe Street	Folk Vict.	Shotgun	1900-04	May
629	201849	St. Paul AME Church, 1520 Wolfe	Gothic Rev.	Double Tower	c1922	Yes
630	201852	1725 Albany Street	Folk Vict.	Side Hallway	1913-19	May
631	201855	1723 Albany Street	N/A	Shotgun	1913-19	May
632	201856	1719 Albany Street	Craftsman	Bungalow	1920-29	May
633	201857	1717 Albany Street	N/A	Side Hallway	1913-19	No
634	201832	1711 Albany Street	Col. Revival	Bungalow	1930-39	May
635	201888	1701 Albany Street	N/A	Bungalow	1913-19	No
636	201888	Crn Albany and H Streets	N/A	Corner store	1945-54	May
637	201890	1724 Albany Street	Craftsman	Bungalow	1930-39	Yes
638	201891	Apartment Building, 1722 Albany	Craftsman	N/A	1930-39	May
639	201892	1720 Albany Street	Craftsman	Bungalow	1930-39	May
640	201893	1714 Albany Street	Craftsman	Bungalow	1930-39	May
641	201894	1712 Albany Street	N/A	Shotgun	1900-07	No
642	201895	1710 Albany Street	Craftsman	Bungalow	1935-44	No
643	201896	1708 Albany Street	Craftsman	Bungalow	1930-39	No
644	201897	1706 Albany Street	N/A	Shotgun	1900-07	No
645	201898	1613 Albany Street	N/A	N/A	1930-39	No
646	201899	movie theater, 1601 Albany Street	N/A	N/A	1940-49	May
647	201900	1529 Albany Street	N/A	Central Hallway	1885-89	May
648	201901	1525 Albany Street	N/A	Central Hallway	1885-89	May
649	201913	1523 Albany Street	N/A	Bungalow	1930-39	May
650	201914	1519 Albany Street	N/A	Shotgun	1913-19	No
651	201915	1517 Albany Street	N/A	Shotgun	1913-19	No
652	201916	1515 Albany Street	Craftsman	Bungalow	1930-39	No

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653	201917	1509 Albany Street	Folk Vict.	Central Hallway	1885-92	Yes
654	201918	1507 Albany Street	Craftsman	N/A	c1890	May
655	201919	1524 Albany Street	Craftsman/ Queen Anne	New South Cottage	1898-04	May

656	201920	1522 Albany Street	N/A	Central Hallway	c1890	May
657	201921	1518 Albany Street	Craftsman	N/A	1920-29	M/Info
658	201922	1516 Albany Street	N/A	Shotgun	1890-97	May
659	201923	1514 Albany Street	N/A	Shotgun	1890-97	May
660	201924	1512 Albany Street	Neoclassical Revival	Side Hallway	1885-89	Yes
661	201925	1510 Albany Street	Folk Vict.	Side Gable Cott.	1908-12	Yes
662	201926	1508 Albany Street	Folk Vict.	Side Gable Cott.	1905-07	Yes
663	201927	1506 Albany Street	Queen Anne	Side Hallway	1908-12	Yes
664	201928	1417 Albany Street	Folk Vict.	Georgian Cott.	1908-12	Yes
665	201929	1411 Albany Street	N/A	Shotgun	1930-39	No
666	201930	1409 Albany Street	Craftsman	Georgian Cott.	1920-29	No
667	201931	1407 Albany Street	N/A	Central Hallway	c1890	May
668	201932	Rector's Office, St. Anthanasius 1403 Albany Street	N/A	Ranch	1945-49	Yes
669	201933	1422 Albany Street	N/A	Central Hallway	1890-97	No
670	201934	1416 Albany Street	N/A	Central Hallway	1908-12	May
671	201935	1404 Albany Street	N/A	Hall-parlor	1920-29	M/info
672	201936	1400/1402 Albany Street	Stripped Classical	Multiple Retail	1930-39	Yes
673	201937	St Athanasius Sunday School Bldg 1321 Albany Street	N/A	N/A	1930-39	Yes
674	201938	auto repair shop, 1326 Albany St.	N/A	Multiple Retail	1920-29	No
675	201939	1306 Albany Street	N/A	Bungalow	1930-39	No
676	201837	1723 Amherst Street	N/A	Saddlebag	1913-19	May
677	201838	1721 Amherst Street	Craftsman	Bungalow	1930-30	Yes
678	201839	1715 Amherst Street	Folk Vict.	Georgian Cott.	1890-97	Yes
679	201840	1711 Amherst Street	N/A	Shotgun	1900-07	Yes
680	201841	1705 Amherst Street	N/A	Georgian Cott.	1913-19	Yes
681	201842	1720 Amherst Street	Craftsman	Bungalow	1920-29	Yes
682	201843	1714 Amherst Street	N/A	Bungalow	1920-29	No
683	201844	1712 Amherst Street	N/A	Bungalow	1930-39	No
684	201845	1628 Amherst Street	Craftsman	Bungalow	1930-39	Yes
685	201846	1626 Amherst Street	N/A	Gable Wing Cott	1890-97	No
686	201847	1624 Amherst Street	N/A	N/A	1890-97	No
687	201948	1622 Amherst Street	N/A	Gable Wing Cott	1890-97	Yes
688	201949	1620 Amherst Street	N/A	Gable Wing Cott	1890-97	May
689	201950	1615 Amherst Street	N/A	Georgian Cott.	1913-19	No
690	201951	1613 Amherst Street	Col. Revival	Georgian Cott.	1900-07	Yes
691	201952	1611 Amherst Street	Craftsman	Side Gable Cott.	1930-39	Yes
692	201953	1614 Amherst Street	Folk Vict.	Side Hallway	1890-97	Yes
693	201954	Grocery/Office, 1612 Amherst St.	N/A	Shotgun	1913-19	May
694	201955	1608 Amherst Street	N/A	Georgian Cott.	1910-19	May
695	201956	1604 Amherst Street	N/A	Side Gable Cott.	1920-29	May
696	201957	1602 Amherst Street	Folk Vict.	Side Hallway	1890-97	May
Survey Field #	Georgia Historic Resources Survey ID	Address and/or Resource Name	Arch. Style	Building Type	Date of Constr.	NR Indiv. Elig.
697	201958	1601 Amherst Street	N/A	Bungalow	1930-39	M/Info
698	201959	IBPOE & W Lodge No. 745 Corner of Amherst & F Streets	N/A	N/A	1950-59	M/Info
699	201690	1527 Amherst Street	Queen Anne	New South Cott.	1908-12	Yes

700	201961	1523 Amherst Street	Folk Vict.	Shotgun	1890-97	Yes
701	201962	1522 Amherst Street	N/A	Central Hallway	1890-97	No
702	201963	1521 Amherst Street	Craftsman	Bungalow	1930-39	May
703	201964	1514 Amherst Street	N/A	Gable Wing Cott	1898-04	M/Info
704	201965	1508 Amherst Street	N/A	Bungalow	1950-59	No
705	201966	1507 Amherst Street	Folk Vict.	Hall-parlor	1898-04	Yes
706	201967	1421 Amherst Street	N/A	Central Hallway	1890-97	No
707	201968	1419 Amherst Street	N/A	Bungalow	1930-39	Yes
708	201969	First African Baptist Church 1416 Amherst Street	Folk Victorian	Front Gable	c1863	Yes
709	201970	1413 Amherst Street	Craftsman	Bungalow	1930-39	Yes
710	201971	1411 Amherst Street	N/A	Hall-parlor	1890-97	May
711	201988	1405 Amherst Street	Craftsman	Bungalow	1913-19	Yes
712	201972	1322 Amherst Street	Craftsman	Bungalow	1930-39	Yes
713	201973	1314 Amherst Street	Craftsman	Bungalow	1920-29	May
714	201974	1312 Amherst Street	N/A	N/A	1913-19	Yes
715	201975	1308 Amherst Street	N/A	Georgian Cott.	1913-19	No
716	201976	1311 Amherst Street	N/A	Hall-parlor	c1890	May
717	201977	1309 Amherst Street	Folk Vict.	Shotgun	1893-99	Yes
718	201978	1307 Amherst Street	Folk Vict.	Shotgun	1893-99	Yes
719	201989	1721 Martin Luther King, Jr. Blvd.	Craftsman	Bungalow	1910-19	Yes
720	201990	1621 Martin Luther King, Jr. Blvd.	N/A	Hall-parlor	1890-97	May
721	201991	1619 Martin Luther King, Jr. Blvd.	N/A	Hall-parlor	1890-97	No
722	201996	1617 Martin Luther King, Jr. Blvd.	Folk Vict.	Bungalow	1890-97	Yes
723	201979	1613 Martin Luther King, Jr. Blvd.	N/A	Bungalow	1910-19	No
724	201983	1609 Martin Luther King, Jr. Blvd.	N/A	Georgian Cott.	1908-12	Yes
725	201987	1601 Martin Luther King, Jr. Blvd.	N/A	Bungalow	1910-19	M/Info
726	202028	1423 Martin Luther King, Jr. Blvd.	Craftsman	Side Gable Cott.	1920-29	Yes
727	202030	1421 Martin Luther King, Jr. Blvd.	Craftsman	Side Gable Cott.	1920-29	May
728	202032	1417 Martin Luther King, Jr. Blvd.	N/A		1920-29	M/Info
729	202035	1413 Martin Luther King, Jr. Blvd.	Craftsman	Bungalow	1920-29	Yes
730	202039	1407 Martin Luther King, Jr. Blvd.	Craftsman	Shotgun	1920-29	May
731	202009	1319 Martin Luther King, Jr. Blvd	N/A	New South Cott.	1900-09	M/Info
732	202010	1317 Martin Luther King, Jr. Blvd.	N/A	Shotgun	1908-12	No
733	202011	1315 Martin Luther King, Jr. Blvd.	N/A	Shotgun	1908-12	May
734	202012	1313 Martin Luther King, Jr. Blvd.	Folk Vict.	Georgian Cott.	1910-19	Yes
735	202013	1102 H Street	N/A	Bungalow	1920-29	May
736	202048	1104 H Street	N/A	Bungalow	1950-54	May
737	202014	1105 H Street	Craftsman	Bungalow	1913-19	May
738	202015	1106 H Street	N/A	Shotgun	1900-07	May
739	202016	1206 H Street	N/A	N/A	1950-59	No
740	202017	1208 H Street	N/A	Shotgun	1900-07	May

<i>Survey Field #</i>	<i>Georgia Historic Resources Survey ID</i>	<i>Address and/or Resource Name</i>	<i>Arch. Style</i>	<i>Building Type</i>	<i>Date of Constr.</i>	<i>NR Indiv. Elig.</i>
741	202018	1404 H Street	Col. Revival	Bungalow	1920-29	Yes
742	202019	1406 H Street	Craftsman	Bungalow	1913-19	Yes
743	202020	1408 H Street	Craftsman	Bungalow	1913-19	May
744	202021	1012 G Street	Folk Vict./	Side Hallway	1890-97	Yes

			Craftsman			
745	202022	1000 G Street	N/A	Shotgun	1890-97	No
746	202023	1102 G Street	N/A	Shotgun	1890-97	No
747	202024	1104 G Street	N/A	Shotgun	1890-97	Yes
748	202027	1301 G Street	Queen Anne	New South Cott.	1898-07	Yes
749	202052	1305 G Street	N/A	New South Cott.	1908-12	Yes
750	202053	1406 G Street	N/A	Bungalow	c1910	No
751	202054	First Bryant Baptist Church 1000 F Street	N/A	Front Gable	c1887	Yes
752	202055	1107 F Street	Craftsman	Bungalow	1930-39	Yes
753	202056	1201 F Street	N/A	Georgian Cott.	1898-07	May
754	202108	auto dealership - corner Gloucester and /Norwich Streets	N/A	N/A	1920-29	Yes
755	202109	auto service station - 1420 Carpenter Street	N/A	N/A	1940-49	Yes
756	202110	Grey Hound Bus Station 1101 Gloucester Street	Col. Revival	N/A	1940-40	Yes
757	202111	Grey Gables, 1107 Gloucester St.	Queen Anne	New South Hse	c1891	Yes
758	202112	Brunswick Fire Station – 1201 Gloucester Street	Col. Revival	N/A	1930-39	Yes
759	202106	gas station – 1200 Gloucester St.	Moderne	N/A	c1950	Yes
760	202107	Tailor shop/drugstore – 1209/1211 Gloucester Street	Stripped Classical	Multiple Retail	1913-19	Yes
761	202117	Auto dealership – 1208 Gloucester	Moderne	N/A	1940-49	Yes
762	202120	1300 Gloucester Street	Stripped Classical	Multiple Retail	1950-59	May
763	202121	1302-1306 Gloucester Street	Stripped Classical	Multiple Retail	c1960	M/Info
764	202122	1308 Gloucester Street	N/A	New South Cott.	1900-07	Yes
765	202130	1400 Gloucester Street	N/A	N/A	c1960	M/Info
766	202131	1406-1416 Gloucester Street	Stripped Classical	Retail and Office	1913-19	Yes
767	202148	First Methodist Church Annex Corner Wolfe and Monck Streets	N/A	N/A	1950-54	M/info
768	202149	1202 Monck Street	N/A	Saddlebag	c1890	Yes
769	202150	1209 Monck Street	N/A	Bungalow	1930-39	M/Info
770	202151	St. Athanasius Episcopal Church 1321 Albany Street	Romanesque Revival	Double Tower	1893-97	Yes
771	202166	Brunswick Tailoring Company 1312 Monck Street	Craftsman	Retail and Office	1920-24	Yes
772	202167	1406 Monck Street	N/A	Shotgun	1900-09	M/Info
773	202170	Corner Grocery Store 1410 Monck Street	N/A	Retail and Office	1908-12	Yes
774	202171	1311 Mansfield Street	Queen Anne	Queen Anne Hse	c1890	Yes

**APPENDIX B:
Combined Results of Phase I & II of the Old Town**

Brunswick Historic Resources Survey

SURVEY RESULTS

A total of 774 historic resources were surveyed during both phases of the Old Town Brunswick Historic Resources Survey. A survey index listing the survey field number, Georgia Historic Resources Survey Resource ID number, historic name (if applicable), address, academic style, academic type, construction date, and National Register eligibility can be found in the appendices.

Construction Dates

In analyzing the results for property distribution by common historical time periods, the majority of resources surveyed were built between 1880 and 1919, or the period of the New South. In Brunswick, this was a time for rebuilding the City, which was burned by Governor’s decree following the evacuation of the coast by Confederate forces during the winter of 1862. This was also a great period of prosperity in which Brunswick developed into the second largest port for naval stores in the world. A total of 227 historic resources, or 57.6% of the properties surveyed during Phase II, date from this period.

The following is a chronological list of the major historical time periods represented in the survey:

- ❖ Antebellum (1820-1859) – 2 historic resource
- ❖ Civil War/Reconstruction (1860-1879) – 8 historic resources (1%)
- ❖ New South (1880-1919) – 491 historic resources (63.4%)
- ❖ Roaring Twenties (1920-1929) – 77 historic resources (10%)
- ❖ Great Depression (1930-1939) – 105 historic resources (13.6%)
- ❖ World War II/pre-Cold War (1940-1949) – 46 historic resources (6%)
- ❖ Cold War (post 1950) – 39 historic resources (5%)

Table 1. Breakdown of Resources by Construction Date

Time Period	Number of Resources
1850 – 1859	2
1860 – 1869	3
1870 – 1879	5
1880 – 1889	73
1890 – 1899	160
1900 – 1909	130
1910 – 1919	128
1920 – 1929	77
1930 – 1939	105
1940 – 1949	46
1950 – 1959	37
1960 – 1964	2

Original Use

In analyzing the results for original use, an overwhelming majority of resources were single family residential. A total of 621 resources, or 80% of the buildings surveyed in this section, fell into this category. Most of the remaining resources surveyed are commercial, institutional, or religious buildings located in or around the Brunswick downtown commercial district.

Table 2. Breakdown of Resources by Original Use

Original Use	Number of Resources
Single Family Residential	621
Multiple Family-Duplex	12
Multiple Family – Apartment Building	4
Secondary Dwelling/Carriage House	1
Commercial – Professional/Office	20
Commercial – Business/Office	2
Commercial – Retail Store/Shop	50
Commercial – Restaurant/Bar/Cafe	1
Commercial – General Store	5
Commercial – Hotel/Inn/Motel	4
Commercial – Bank	2
Commercial – warehouse	11
Commercial – market	3
Livery Stable	1
Transportation – Rail Warehouse	1
Transportation – Auto Sales/Service	15
Filling Station/Auto Repair Shop	4
U.S. Post Office/Custom House	1
City/Town Hall	1
Courthouse/County	1
Jail/Prison/Police Station	1
Fire Station	1
Public Works	1
Bus Station	1
Theater/Opera Hall/Cinema	4
Fraternal/Patriotic Organization	1
Masonic Lodge	1
Social/Civic Organization	1
Mortuary/Funeral Home	1
Church	10
Sunday School Building	2
Convent	1
Rectors House/Office	1

Architectural Style

Of the historic resources surveyed, 445 properties, or 57.5% of the buildings surveyed, are representative of an academic architectural style. As indicated in Table 3, Craftsman and Folk Victorian are the most common architectural styles found in Old Town Brunswick, each representing 27% of examples surveyed, while Queen Anne is the third most common architectural style, representing 19.6% of examples surveyed. Although a majority of the resources exhibiting stylistic influences displayed elements or were

vernacular expressions of various styles, several high style examples were identified during the survey.

Table 3. Breakdown of Resources by Architectural Style

Architectural Style	Number of Examples
No Academic Style	329
Craftsman	120
Colonial Revival	23
Folk Victorian	120
Victorian Romanesque	6
Queen Anne	87
Stick	24
Greek Revival	1
Italianate	13
Beaux Arts Classicism	2
Gothic Revival	6
Stripped Classical (Commercial)	16
Neoclassical Revival	8
Italian Renaissance Revival	1
Second Empire	4
Shingle	1
Prairie	5
Moderne	6
Romanesque Revival	1
English Vernacular Revival	7
Spanish Colonial Revival	3
Exotic Revival	3
Art Deco	3
International	2
Minimal Traditional	1
Unknown	1

Building Types

A total of 628 properties surveyed during the Old Town Brunswick Historic Resources Survey were identified as conforming to one of the architectural types recognized by the Historic Preservation Division and identified in the Georgia Historic Resources Survey Manual. Table 4 lists 33 building types existing within the survey area. As indicated in Table 4, the bungalow (159 historic resources or 25.3%), the side hallway house (99 historic resources or 15.8%), and the shotgun (60 historic resources or 9.6%) are the most

common building types identified in the survey area. 146 historic resources, or 18.9% of the total number of buildings surveyed, did not conform to any academic building type.

Table 4. Breakdown of Resources by Architectural Type

Architectural Building Type	Number of Examples
No Academic Type	146
Single Pen	3
Double Pen	1
Hall-parlor	14
Saddlebag	7
Central Hallway	14
Georgian Cottage	24
Shotgun	60
Side Gable Cottage	16
Side Hallway Cottage	3
Gable-ell Cottage	25
New South Cottage	11
Pyramid Cottage	1
Bungalow	159
English Cottage	2
Ranch	12
American Small House	7
I-house	17
Side Hallway	99
Gable Ell House	31
Georgian House	9
American Foursquare	6
New South House	1
Queen Anne House	8
Front Gable Church	2
Double Tower Church	2
Corner Tower Church	5
Multiple Retail Commercial Building	13
Retail and Office Commercial Building	41
Single Retail Commercial Building	12
Community Store	1
Corner Store	2
Duplex	4
Quonset Hut	1
Unknown	13
Other	1

B) Outbuildings

During the Old Town Brunswick Historic Resources Survey, a total of 120 outbuildings and structures were identified representing 9 historic uses recognized by the Historic Preservation Division and identified in the Georgia Historic Resources Survey Manual. This information is found in Table 5.

Table 5. Breakdown of Outbuildings by Use

Outbuilding	Number of Examples
Implement Shed	16
Barn/Shed	1
Garage	68
Garage Apartment	6
Office	1
Slave/Servant House	7
Secondary Dwelling	10
Mixed Use	3
Unknown Use	2
Carport	2
Carriage House	2
Workshop	1

**APPENDIX C:
Index of Historic Resources Surveyed (Phase I)**

<u>GEORGIA HISTORIC RESOURCE NUMBER</u>	<u>ADDRESS OR SITE NAME</u>	<u>ARCHITECTURAL STYLE</u>	<u>DATE OF CONSTRUCTION</u>	<u>NR IND. ELIG</u>	<u>NR DIST ELIG</u>
GN-B-002	Brunswick Municipal Storage & Shops, Bay Street	No Academic Style	c1930-1939	No	Yes
GN-B-003	Shop, Brunswick Public Works Bay Street	No Academic Style	c1935-1944	More Info	Yes

GN-B-004	Lewis Wholesale Seafood – Wholesale Packing and Storage Facility – Bay Street	No Academic Style	c1940-1949	May	Yes
GN-B-005	Gulf Oil Corporation Warehouse Bay Street	No Academic Style	c1930-1939	May	Yes
GN-B-006	1320 Bay Street	Commercial	c1900-1909	No	Yes
GN-B-007	NE Corner Bay and Monck Streets	No Academic Style	c1910-1919	May	Yes
GN-B-008	Mortuary – SE Corner Newcastle and G Streets	Commercial	c1886-1892	May	Yes
GN-B-009	1620 Newcastle Street	No Academic Style	c1913-1919	No	Yes
GN-B-010	Hotel Royal Annex 1618 Newcastle Street	Queen Ann	c1914-1919	Yes	Yes
GN-B-011	Hotel Royal 1616 Newcastle Street	Queen Ann	c1899-1907	Yes	Yes
GN-B-012	Liberty Building – Ford/Mercury Building – 1608 Newcastle St.	Unknown	c1925-1934	Yes	Yes
GN-B-013	News Building 1604 Newcastle St.	Folk Victorian	c1908	No	Yes
GN-B-014	1602 Newcastle Street	No Academic Style	c1850-1859	May	Yes
GN-B-015	Lafayette Grill 1600 Newcastle Street	Folk Victorian	c1850-1859	More Info	Yes
GN-B-016	Red Carpet Lounge 1531/1529/1527 Newcastle St.	Commercial	c1914-1919	May	Yes
GN-B-017	1523/1525 Newcastle Street	No Academic Style	c1914-1919	No	Yes
GN-B-018	1521 Newcastle Street	Commercial	c1914-1919	No	Yes
GN-B-019	1519/1519 ½ Newcastle Street	Commercial	c1920-1929	No	Yes
GN-B-020	1515 Newcastle Street	No Academic	c1920-1929	No	Yes
GN-B-021	Grand Opera House/Ritz Theatre 1530 Newcastle Street	Queen Ann	c1898	Yes	Yes
GN-B-022	S.H. Kress Company 1505 Newcastle Street	No Academic Style	c1900-1909	More Info	Yes
GN-B-023	Dunwoody Building 1503 Newcastle Street	Beaux Arts Classicism	c1920-1929	May	Yes
GN-B-024	1506 Newcastle Street	No Academic Style	c1880-1884	More Info	Yes
GN-B-025	1508 Newcastle Street	Italianate	c1880-1884	More Info	Yes
GN-B-026	1430 Newcastle Street	Queen Ann	c1880-1884	May	Yes
GN-B-027	1426-1428 Newcastle Street	Vict. Romanesque	c1880-1884	May	Yes
GN-B-028	1424 Newcastle Street	No Academic Style	c1880-1884	No	Yes
GN-B-029	1420 Newcastle Street	Folk Victorian	c1885-1889	No	Yes
GN-B-030	1418-1420 Newcastle Street	Moderne/Victorian Romanesque	c1880-1884	No	Yes
GN-B-031	Oglethorpe National Bank Bldg 1419 Newcastle Street	Victorian Romanesque	c1885-1889	No	Yes
GN-B-032	Elliot Building 1423 Newcastle St.	Queen Ann	c1892	Yes	Yes
GN-B-033	1401 Newcastle Street	Italianate	c1880-1884	Yes	Yes
GN-B-034	1414 Newcastle Street	No Academic Style	c1880-1884	No	Yes
GN-B-035	1404-1406 Newcastle Street	Art Deco	c1880-1884	More Info	Yes
GN-B-036	1400 Newcastle Street	No Academic Style	c1885-1889	More	Yes

				Info	
GN-B-037	Central Hotel 1327-1331 Newcastle Street	Italianate	c1880-1884	Yes	Yes
GN-B-038	Central Hotel Annex – 1321- 1325 Newcastle Street	International	c1885-1889	No	Yes
GN-B-039	Ray's Variety Store 1315-1319 Newcastle Street	Italianate	c1885	Yes	Yes
GN-B-040	Movie Theatre 1313 Newcastle Street	Art Deco	c1889-1893	Yes	Yes
GN-B-041	Fabers Bakery & Confectionary 13330 Newcastle Street	Italianate	c1885-1889	Yes	Yes
GN-B-042	1328 Newcastle Street	Commercial	c1890-1893	More Info	Yes
GN-B-043	1322 Newcastle Street	Commercial	c1895-1898	More Info	Yes
GN-B-044	1320 Newcastle Street	Victorian Romanesque	c1890	May	Yes
GN-B-045	1318 Newcastle Street	Italianate	c1890-1893	Yes	Yes
GN-B-046	1316 Newcastle Street	Italianate	c1885-1894	Yes	Yes
GN-B-047	1314 Newcastle Street	Italianate	c1890-1893	Yes	Yes
GN-B-048	1320 Newcastle Street	Italianate	c1890-1893	Yes	Yes
GN-B-049	Old City Hall 1229 Newcastle Street	Victorian Romanesque	c1888	Yes	Yes
GN-B-050	St. Vincent DePaul Thrift Store 1217 Newcastle Street	No Academic Style	c1935-1944	May	Yes
GN-B-051	1215 Newcastle Street	Moderne	c1930-1939	No	Yes
GN-B-052	1213 Newcastle Street	No Academic Style	c1950-1954	No	Yes
GN-B-053	1205 Newcastle Street	No Academic Style	c1915-1919	No	Yes
GN-B-054	1214 Newcastle Street	No Academic Style	c1930-1939	No	Yes
GN-B-055	Coca-Cola Bottling Warehouse 1212 Newcastle Street	No Academic Style	c1914-1919	No	Yes
GN-B-056	1208 Newcastle Street	No Academic Style	c1914-1919	More Info	Yes
GN-B-057	1206 Newcastle Street	No Academic Style	c1914-1919	No	Yes
GN-B-058	Coal House – Mutual Light and Water Company 1524 Bay Street	No Academic Style	c1908-1912	More Info	Yes
GN-B-059	Office – People's Water Service Company & Georgia Power Co. 1529 Grant Street	No Academic Style	c1935-1944	More Info	Yes
GN-B-060	Office – Brunswick Light and Water Co. – 1525 Grant Street	No Academic Style	c1890-1897	May	Yes
GN-B-061	Motor Freight Station 1515 Grant Street	No Academic Style	c1945-1949	More Info	Yes
GN-B-062	Leotis and Company Wholesale Grocery and Liquor 201-207 Gloucester Street	No Academic Style	c1940	May	Yes
GN-B-063	209/211 Gloucester Street	No Academic Style	c1949-1954	No	Yes
GN-B-064	300/302 Gloucester Street	Stripped Classical (Commercial)	c1915-1924	May	Yes
GN-B-065	Commercial Hotel 211 Monck Street	No Academic Style	c1885-1889	May	Yes
GN-B-066	209 Monck Street	Commercial	c1885	May	Yes

GN-B-067	Putnam's Livery/J.M. Brown and Company Livery 207 Monck Street	Commercial	c1880-1884	Yes	Yes
GN-B-068	Auto Body Shop 1315 Grant Street	No Academic Style	c1935-1944	May	Yes
GN-B-069	1303-1307 Grant Street	No Academic Style	c1949-1954	More Info	Yes
GN-B-070	Filling Station/ Auto Repair 211 Grant Street	No Academic Style	c1930-1939	May	Yes
GN-B-071	NE Corner Mansfield and Bay Street	No Academic Style	c1949-1954	More Info	Yes
GN-B-072	Brunswick Police Department – Mansfield Street	No Academic Style	c1939	May	Yes
GN-B-073	501 G Street	Folk Victorian	c1910-1913	May	Yes
GN-B-074	503 G Street	Folk Victorian	c1910-1913	May	Yes
GN-B-075	509 G Street	Stick	c1885-1894	Yes	Yes
GN-B-076	500-504 G Street	No Academic Style	c1940-1949	May	Yes
GN-B-077	506-512 G Street	No Academic Style	c1945-1954	More Info	Yes
GN-B-078	Rogers Building 1522 Richmond Street	International	c1945-1954	May	Yes
GN-B-079	500-506 Gloucester Street	No Academic Style	c1890-1899	More Info	Yes
GN-B-080	404 Monck Street	No Academic Style	c1920-1929	May	Yes
GN-B-081	500 Monck Street	No Academic Style	c1900-1908	May	Yes
GN-B-082	Morgan's Cleaners 510 Monck Street	No Academic Style	c1930-1939	May	Yes
GN-B-083	Coca-Cola Bottling and Distribution Center Mansfield Street	No Academic Style	c1935-1939	Yes	Yes
GN-B-084	1713 Reynolds Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-085	1711 Reynolds Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-086	Mahoney-McGarvey House – 1709 Reynolds Street	Exotic Revival Carpenter Gothic	c1891	Yes	Yes
GN-B-087	1623 Reynolds Street	Shingle	c1885-1894	Yes	Yes
GN-B-088	1621 Reynolds Street	Folk Victorian	c1895-1904	May	Yes
GN-B-089	1612/1614 Reynolds Street	Moderne	c1950-1954	No	Yes
GN-B-090	1611 Reynolds Street	No Academic Style	c1910-1919	More Info	Yes
GN-B-091	1609 Reynolds Street	No Academic Style	c1910-1919	More Info	Yes
GN-B-092	1610 Reynolds Street	No Academic Style	c1925-1934	No	Yes
GN-B-093	1608 Reynolds Street	No Academic Style	c1920-1929	No	Yes
GN-B-094	1606 Reynolds Street	Folk Victorian	c1890-1899	May	Yes
GN-B-095	1529 Reynolds Street	Stick	c1890-1899	May	Yes
GN-B-096	1523 Reynolds Street	No Academic Style	c1935-1939	No	Yes
GN-B-097	U.S. Post Office and Custom House/New City Hall 601 Gloucester Street	Colonial Revival	c1901	Yes	Yes
GN-B-098	Bank – 511 Gloucester Street	Beaux Arts Classicism	c1900-1908	No	Yes
GN-B-099	Garage – Reynolds Street	No Academic Style	c1940-1949	May	Yes
GN-B-100	1310 Reynolds Street	Craftsman	c1930-1939	May	Yes
GN-B-101	603 Mansfield Street	Stick	c1890-1899	Yes	Yes

GN-B-102	600 Mansfield Street	Craftsman	c1910-1919	More Info	Yes
GN-B-103	602 Mansfield Street	Stick	c1890-1899	May	Yes
GN-B-104	1216 Reynolds Street	No Academic Style	c1915-1924	May	Yes
GN-B-105	1214 Reynolds Street	No Academic Style	c1915-1924	May	Yes
GN-B-106	1212 Reynolds Street	No Academic Style	c1915-1924	May	Yes
GN-B-107	1210 Reynolds Street	No Academic Style	c1915-1924	May	Yes
GN-B-108	1202 Reynolds Street	No Academic Style	c1885-1894	More Info	Yes
GN-B-109	Glynn County Courthouse 701 G Street	Neoclassical Revival	c1907	Yes	Yes
GN-B-110	1628 Union Street	Craftsman	c1915-1924	May	Yes
GN-B-111	1622 Union Street	No Academic Style	c1915-1924	May	Yes
GN-B-112	1618 Union Street	Craftsman	c1915-1924	May	Yes
GN-B-113	1616 Union Street	No Academic Style	c1915-1924	May	Yes
GN-B-114	1614 Union Street	Craftsman	c1910-1919	More Info	Yes
GN-B-115	Union Street	No Academic Style	c1925-1934	No	Yes
GN-B-116	Union Street	Folk Victorian	c1890-1899	May	Yes
GN-B-117	1612 Union Street	Craftsman	c1920-1929	No	Yes
GN-B-118	1610 Union Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-119	1606 Union Street	No Academic Style	c1935-1944	No	Yes
GN-B-120	Lissner House 1319 Union Street	Prairie Style	c1907	Yes	Yes
GN-B-121	1328 Union Street	No Academic Style	c1935-1939	No	Yes
GN-B-122	1315 Union Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-123	1303 Union Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-124	704 G Street	No Academic Style	c1900-1909	No	Yes
GN-B-125	706 G Street	Craftsman	c1900-1909	May	Yes
GN-B-126	708 G Street	Craftsman	c1905-1914	May	Yes
GN-B-127	1728 Ellis Street	No Academic Style	c1920-1929	No	Yes
GN-B-128	1716 Ellis Street	Italianate	c1885-1894	May	Yes
GN-B-129	1712 Ellis Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-130	1708 Ellis Street	No Academic Style	c1910-1919	More Info	Yes
GN-B-131	1706 Ellis Street	Folk Victorian	c1915-1919	May	Yes
GN-B-132	803 G Street	Folk Victorian	c1885-1894	May	Yes
GN-B-133	809 G Street	Folk Victorian	c1880-1899	Yes	Yes
GN-B-134	800 G Street	Craftsman	c1905-1914	No	Yes
GN-B-135	802 G Street	Craftsman	c1905-1914	Yes	Yes
GN-B-136	804 G Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-137	806 G Street	Stick	c1880-1899	Yes	Yes
GN-B-138	808 G Street	Folk Victorian	c1915-1919	May	Yes
GN-B-139	1615 Ellis Street A & B	No Academic Style	c1925-1934	No	Yes
GN-B-140	1615 Ellis Street (C-F)	No Academic Style	c1930-1939	No	Yes
GN-B-141	1613 Ellis Street	Colonial Revival	c1935-1944	No	Yes
GN-B-142	1618 Ellis Street	Craftsman	c1920-1929	May	Yes
GN-B-143	1614 Ellis Street	No Academic Style	c1935-1944	More Info	Yes
GN-B-144	1610 Ellis Street	No Academic Style	c1915-1924	More Info	Yes
GN-B-145	709 Ellis Street	No Academic Style	c1905-1914	Yes	Yes
GN-B-146	707 Ellis Street	No Academic Style	c1915-1914	No	Yes
GN-B-147	801 Monck Street	Queen Anne/Stick	c1885-1894	Yes	Yes

GN-B-148	805 Monck Street	Queen Anne	c1890-1899	May	Yes
GN-B-149	809 Monck Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-150	804 Monck Street	No Academic Style	c1890-1899	May	Yes
GN-B-151	Marlin House – 808 Monck St., 1325 Egmont Street	Folk Victorian	c1890	Yes	Yes
GN-B-152	1415 Egmont Street	No Academic Style	c1920-1929	May	Yes
GN-B-153	NE Corner Monck and Egmont Streets	Stick/Queen Anne	c1885-1894	Yes	Yes
GN-B-154	Temple Beth Tefillah SE Corner of Egmont and Monck Streets	Exotic Revival	c1900-1909	Yes	Yes
GN-B-155	1321 Egmont Street	No Academic Style	c1940-1949	No	Yes
GN-B-156	Glynn Academy High School/Memorial Auditorium – Hillsborough Square	Colonial Revival	c1923	Yes	Yes
GN-B-157	Glynn Academy Building (#3) /Prep School – Hillsborough Sq.	Neoclassical Revival	c1909	Yes	Yes
GN-B-158	Glynn Academy Annex Building Hillsborough Square	Victorian Romanesque	c1889	Yes	Yes
GN-B-159	Sidney Lanier School – Hillsborough Square	Neoclassical Revival	c1939	Yes	Yes
GN-B-160	A.V. Wood Gymnasium – Hillsborough Square	Gothic Revival	c1923-1925	Yes	Yes
GN-B-161	1728 Norwich Street	Stick	c1885-1894	No	Yes
GN-B-162	1721 Norwich Street	Craftsman	c1920-1929	May	Yes
GN-B-163	1719 Norwich Street	No Academic Style	c1920-1929	No	Yes
GN-B-164	1720 Norwich Street	Folk Victorian	c1900-1909	May	Yes
GN-B-165	1710 Norwich Street	Craftsman	c1920-1929	No	Yes
GN-B-166	1615 Norwich Street	No Academic Style	c1925-1934	More Info	Yes
GN-B-167	1611 Norwich Street	No Academic Style	c1915-1924	May	Yes
GN-B-168	1612 Norwich Street	No Academic Style	c1909-1914	More Info	Yes
GN-B-169	1614 Norwich Street	No Academic Style	c1900-1909	More Info	Yes
GN-B-170	1606 Norwich Street	Spanish Colonial Revival	c1930-1939	May	Yes
GN-B-171	NE Corner Norwich and F Streets	Moderne	c1935-1944	Yes	Yes
GN-B-172	1609 Norwich Street	No Academic Style	c1920-1929	More Info	Yes
GN-B-173	1607 Norwich Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-174	SW Corner Norwich and F Streets	Queen Anne	c1885-1894	Yes	Yes
GN-B-175	St Mark’s Episcopal Church - Gloucester Street	Gothic Revival	c1911	Yes	Yes
GN-B-176	First United Methodist Church - Monck Street	Gothic Revival	c1905	Yes	Yes
GN-B-177	1117 Grant Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-178	1119 Grant Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-179	1021 Grant Street	Folk Victorian	c1885-1894	No	Yes
GN-B-180	1023 Grant Street	Stick	c1890-1899	May	Yes
GN-B-181	1011 Grant Street	Stick	c1885-1894	Yes	Yes

GN-B-182	1001 Grant Street	Minimal Traditional	c1940-1949	No	Yes
GN-B-183	913 Newcastle Street	Queen Anne	c1918	No	Yes
GN-B-184	915 Newcastle Street	Craftsman	c1915-1924	More Info	Yes
GN-B-185	917 Newcastle Street	Craftsman	c1915-1924	May	Yes
GN-B-186	928 Newcastle Street	No Academic Style	c1915-1924	May	Yes
GN-B-187	Burroughs-Hazlehurst House – 8 Hanover Square	Second Empire	c1875-1884	Yes	Yes
GN-B-188	St Joseph's Convent, St Francis Xavier Catholic Church – Richmond Street	Prairie Style	c1950-1954	More info	Yes
GN-B-189	Rose Manor Guest House 1108 Richmond Street	No Academic Style	c1889	Yes	Yes
GN-B-190	503 George Street	Italianate	c1880-1889	Yes	Yes
GN-B-191	1028 Richmond Street	Exotic Revival	c1890-1899	Yes	Yes
GN-B-192	1020 Richmond Street	Italianate	c1880-1889	Yes	Yes
GN-B-193	1014 Richmond Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-194	1012 Richmond Street	Craftsman	c1920-1929	May	Yes
GN-B-195	503 London Street	Folk Victorian	c1890-1899	No	Yes
GN-B-196	509 London Street	Stick	c1890-1899	Yes	Yes
GN-B-197	502 London Street	Queen Anne/Stick	c1885-1894	Yes	Yes
GN-B-198	501 George Street	Craftsman	c1905-1914	May	Yes
GN-B-199	922 Richmond Street	Craftsman	c1920-1929	More Info	Yes
GN-B-200	914 Richmond Street	No Academic Style	c1900-1909	May	Yes
GN-B-201	910 Richmond Street	No Academic Style	c1915-1924	May	Yes
GN-B-202	908 Richmond Street	No Academic Style	c1915-1924	May	Yes
GN-B-203	501 Prince Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-204	507 Prince Street	Folk Victorian	c1890-1899	More Info	Yes
GN-B-205	509 Prince Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-206	907 Reynolds Street	No Academic Style	c1915-1924	No	Yes
GN-B-207	912 Reynolds Street	No Academic Style	c1915-1924	No	Yes
GN-B-208	Whitmire House 601 Prince Street	Queen Anne	c1890	Yes	Yes
GN-B-209	600 Prince Street	No Academic Style	c1900-1909	More Info	Yes
GN-B-210	First Presbyterian Church George Street	Carpenter Gothic	c1900-1909	Yes	Yes
GN-B-211	Oglethorpe Street	No Academic Style	c1945-1954	More Info	Yes
GN-B-212	1002 Oglethorpe Street	Folk Victorian	c1890-1899	More Info	Yes
GN-B-213	601 Albemarle Street	Queen Anne	c1905-1914	Yes	Yes
GN-B-214	508 Albemarle Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-215	509 Albemarle Street	No Academic Style	c1890-1899	No	Yes
GN-B-216	501 Albemarle Street	No Academic Style	c1900-1909	May	Yes
GN-B-217	820 Richmond Street	No Academic Style	c1905-1914	No	Yes
GN-B-218	814 Richmond Street	No Academic Style	c1910-1919	Yes	Yes
GN-B-219	808 Richmond Street	No Academic Style	c1890-1899	May	Yes
GN-B-220	810/812 Richmond Street	Craftsman	c1925-1934	May	Yes
GN-B-221	Church – Albemarle between Newcastle and Richmond Streets	Gothic Revival	c1920-1929	Yes	Yes
GN-B-222	404 Albemarle Street	Craftsman	c1920-1929	More	Yes

				Info	
GN-B-223	513 Newcastle Street	No Academic Style	c1930-1939	No	Yes
GN-B-224	815 Newcastle Street	Craftsman	c1934-1939	More Info	Yes
GN-B-225	NW Corner Newcastle and Albemarle Streets	Craftsman	c1930-1939	No	Yes
GN-B-226	601 Dartmouth Street	Colonial Revival	c1900-1909	Yes	Yes
GN-B-227	606 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-228	501 Dartmouth Street	Greek Revival	c1870-1879	Yes	Yes
GN-B-229	500 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-230	502 Dartmouth Street	Queen Anne Craftsman	c1900-1909	Yes	Yes
GN-B-231	504 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-232	506 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-233	613/615 Reynolds Street	No Academic Style	c1940-1949	No	Yes
GN-B-234	6111/611 ½ Reynolds Street	Colonial Revival	c1940-1949	No	Yes
GN-B-235	603 First Avenue	Colonial Revival	c1915-1924	May	Yes
GN-B-236	605 First Avenue	Colonial Revival	c1915-1924	May	Yes
GN-B-237	511 First Avenue	No Academic Style	c1890-1899	May	Yes
GN-B-238	507 First Avenue	Craftsman Neoclassical Revival	c1890-1899	May	Yes
GN-B-239	722 Richmond Street	Stick	c1885-1894	Yes	Yes
GN-B-240	718/720 Richmond Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-241	714 Richmond Street	Folk Victorian Neoclassical Revival	c1910-1919	Yes	Yes
GN-B-242	708 Richmond Street	Craftsman	c1918	Yes	Yes
GN-B-243	711 Richmond Street	Craftsman	c1930-1939	No	Yes
GN-B-244	Schreiber's 1403 Newcastle Street	Queen Anne	c1880-1884	May	Yes
GN-B-245	403 Dartmouth Street	Craftsman	c1915-1924	May	Yes
GN-B-246	624 Richmond Street	No Academic Style	c1935-1944	No	Yes
GN-B-247	622 Richmond Street	No Academic Style	c1940-1949	No	Yes
GN-B-248	400 Dartmouth Street	Colonial Revival	c1915-1924	May	Yes
GN-B-249	701 Newcastle Street	Colonial Revival	c1900-1909	May	Yes
GN-B-250	625 Newcastle Street	Craftsman	c1935-1944	No	Yes
GN-B-251	627 Newcastle Street	No Academic Style	c1935-1939	No	Yes
GN-B-252	612 Newcastle Street	No Academic Style	c1940-1949	No	Yes
GN-B-253	610 Newcastle Street	Queen Anne	c1910-1919	More Info	Yes
GN-B-254	603 Newcastle Street	Folk Victorian	c1935-1939	More Info	Yes
GN-B-255	601 Newcastle Street	No Academic Style	c1930-1939	No	Yes
GN-B-256	725 Grant Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-257	727 Grant Street	Queen Anne	c1890-1899	May	Yes
GN-B-258	719 Grant Street	No Academic Style	c1930-1939	No	Yes
GN-B-259	721 Grant Street	No Academic Style	c1930-1939	No	Yes
GN-B-260	722 Oglethorpe Street	No Academic Style	c1930-1939	No	Yes
GN-B-261	717 Oglethorpe Street	No Academic Style	c1930-1939	No	Yes
GN-B-262	715 Oglethorpe Street	No Academic Style	c1910-1919	May	Yes
GN-B-263	713 Oglethorpe Street	No Academic Style	c1920-1929	No	Yes
GN-B-264	714 Oglethorpe Street	No Academic Style	c1930-1939	No	Yes
GN-B-265	707 Oglethorpe Street	No Academic Style	c1940-1949	No	Yes
GN-B-266	202 Dartmouth Street	No Academic Style	c1935-1939	No	Yes
GN-B-267	206 Dartmouth Street	No Academic Style	c1930-1939	No	Yes

GN-B-268	204 Dartmouth Street	No Academic Style	c1930-1939	No	Yes
GN-B-269	203 Dartmouth Street	Queen Anne/Stick	c1885-1894	May	Yes
GN-B-270	201 Dartmouth Street	No Academic Style	c1930-1939	No	Yes
GN-B-271	101 Dartmouth Street	No Academic Style	c1935-1939	No	Yes
GN-B-272	626 Oglethorpe Street	No Academic Style	c1950-1954	No	Yes
GN-B-273	600 Oglethorpe Street	No Academic Style	c1900-1909	No	Yes
GN-B-274	NW Corner First Avenue and Grant Street	No Academic Style	c1915-1924	No	Yes
GN-B-275	1227/1229 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-276	1217 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-277	1215 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-278	L.T. McKinnon House 1205 Union Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-279	L.T. McKinnon House 1201 Union Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-280	1208 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-281	1200 Union Street	No Academic Style	c1885-1894	May	Yes
GN-B-282	1127 Union Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-283	Captain William Tupper/ Dr. J.A Butts House 1128 Union Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-284	1120 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-285	1114 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-286	Murray House 1112 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-287	1108 Union Street	Folk Victorian Craftsman	c1895-1904	Yes	Yes
GN-B-288	1100 Union Street	Stick	c1880-1889	Yes	Yes
GN-B-289	1027 Union Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-290	1020 Union Street	Craftsman	c1900-1909	More Info	Yes
GN-B-291	Aiken House 1015 Union Street	Prairie Style	c1910-1914	Yes	Yes
GN-B-292	1028 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-293	Robbin's Nest 1024 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-294	1014 Union Street	Craftsman	c1890-1899	May	Yes
GN-B-295	1010 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-296	1008 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-297	1000 Union Street	Neoclassical Revival	c1902	Yes	Yes
GN-B-298	927 Union Street	Stick	c1880-1889	Yes	Yes
GN-B-299	923 Union Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-300	915 Union Street	Neoclassical Revival	c1905-1914	Yes	Yes
GN-B-301	911 Union Street	No Academic Style	c1880-1889	No	Yes
GN-B-302	Wright House 905 Union Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-303	Dexter House 928 Union Street	Stick/Folk Victorian	c1875-1884	Yes	Yes
GN-B-304	924 Union Street	Queen Anne/Second Empire	c1895-1904	Yes	Yes
GN-B-305	922 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-306	916/918 Union Street	Craftsman	c1915-1924	May	Yes
GN-B-307	Cook House	Second Empire	c1865-1874	Yes	Yes

	908/910 Union Street				
GN-B-308	902 Union Street	Colonial Revival	c1925-1934	Yes	Yes
GN-B-309	Lott-Parker House 827 Union Street	Colonial Revival	c1900-1909	Yes	Yes
GN-B-310	821 Union Street	No Academic Style	c1900-1909	No	Yes
GN-B-311	A.L. Church House 815 Union Street	Italian Renaissance Revival	c1929	Yes	Yes
GN-B-312	DuBignon-McCullough House 811 Union Street	Second Empire	c1865-1874	Yes	Yes
GN-B-313	Welsh-Parnham House 801 Union Street	Craftsman	c1915-1924	Yes	Yes
GN-B-314	826 Union Street	Craftsman	c1920-1929	Yes	Yes
GN-B-315	822 Union Street	Craftsman	c1920-1929	Yes	Yes
GN-B-316	Dunwoody House/St. Frances Catholic Church Rectory 729 Union Street	English Vernacular Revival/Folk Victorian	c1887	Yes	Yes
GN-B-317	DuBignon-Lockwood House 721 Union Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-318	711 Union Street	Queen Anne	c1910-1919	Yes	Yes
GN-B-319	Leavy House 705 Union Street	Queen Anne Craftsman	c1890-1899	Yes	Yes
GN-B-320	703 Union Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-321	728 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-322	720 Union Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-323	DuBignon House 716 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-324	710/712 Union Street	Folk Victorian	c1900-1909	Yes	Yes
GN-B-325	706 Union Street	Folk Victorian	c1905-1914	Yes	Yes
GN-B-326	704 Union Street	Folk Victorian Craftsman	c1905-1914	May	Yes
GN-B-327	615 Union Street	No Academic Style	c1905-1914	No	Yes
GN-B-328	613 Union Street	No Academic Style	c1924-1935	No	Yes
GN-B-329	311 Union Street	Colonial Revival	c1949	No	Yes
GN-B-330	607 Union Street	Craftsman	c1925-1934	May	Yes
GN-B-331	601 Union Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-332	628 Union Street	Folk Victorian	c1900-1909	Yes	Yes
GN-B-333	624 Dartmouth Street	Craftsman	c1900-1909	Yes	Yes
GN-B-334	618 Union Street	No Academic Style	c1945-1954	No	Yes
GN-B-335	616 Union Street	No Academic Style	c1910-1919	May	Yes
GN-B-336	614 Union Street	Folk Victorian	c1910-1919	May	Yes
GN-B-337	608 Union Street	English Vernacular Revival	c1930-1939	May	Yes
GN-B-338	604 Union Street	Craftsman	c1920-1929	Yes	Yes
GN-B-339	600 Union Street	Queen Anne	c1905-1914	Yes	Yes
GN-B-340	707 Howe Street	No Academic Style	c1900-1909	May	Yes
GN-B-341	709 Howe Street	Folk Victorian	c1900-1909	May	Yes
GN-B-342	708 Howe Street	Folk Victorian	c1900-1909	May	Yes
GN-B-343	1127 Ellis Street	No Academic Style	c1910-1919	May	Yes
GN-B-344	Two Shotgun Houses 1118-1120 Ellis Street	No Academic Style	c1910-1919	May	Yes
GN-B-345	George Street	No Academic Style	c1930-1939	May	Yes
GN-B-346	SW Corner of George and Ellis Streets	No Academic Style	c1910-1919	May	Yes
GN-B-347	708 London Street	English Vernacular	c1890-1899	May	Yes

		Revival			
GN-B-348	711 Prince Street	Queen Anne	C1895-1904	Yes	Yes
GN-B-349	812 Ellis Street	Folk Victorian	c1900-1909	May	Yes
GN-B-350	715 Ellis Street	Folk Victorian	c1905-1914	May	Yes
GN-B-351	709 Ellis Street	Folk Victorian	c1910-1919	No	Yes
GN-B-352	707 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-353	706 Dartmouth Street	Queen Anne	c1900-1909	May	Yes
GN-B-354	708 Dartmouth Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-355	Ellis Street	No Academic Style	c1900-1909	May	Yes
GN-B-356	800 Howe Street	No Academic Style	c1910-1919	No	Yes
GN-B-357	802 Howe Street	No Academic Style	c1910-1919	May	Yes
GN-B-358	804 Howe Street	Folk Victorian	c1900-1909	May	Yes
GN-B-359	805 George Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-360	804 George Street	Queen Anne	c1900-1909	Yes	Yes
GN-B-361	Nightingale House 803 London Street	Queen Anne	c1895-1904	Yes	Yes
GN-B-362	Atkinson House 802 London House	Folk Victorian	c1890-1899	Yes	Yes
GN-B-363	NE Corner Albemarle and Ellis Streets	No Academic Style	c1940-1949	No	Yes
GN-B-364	800 Albemarle Street	Craftsman	c1930-1939	May	Yes
GN-B-365	804 Albemarle Street	No Academic Style	c1930-1939	No	Yes
GN-B-366	Senator W.G. Brantley House 807 Dartmouth Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-367	800 Dartmouth Street	No Academic Style	c1930-1939	No	Yes
GN-B-368	808 Dartmouth Street	Craftsman	c1925-1934	May	Yes
GN-B-369	1129 Egmont Street	Queen Anne	c1885-1894	Yes	Yes
GN-B-370	1125 Egmont Street	No Academic Style	c1905-1914	Yes	Yes
GN-B-371	1119 Egmont Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-372	1115 Egmont Street	No Academic Style	c1935-1944	No	Yes
GN-B-373	1111 Egmont Street	No Academic Style	c1915-1924	May	Yes
GN-B-374	1103 Egmont Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-375	1027 Egmont Street	Folk Victorian	c1885-1894	Yes	Yes
GN-B-376	1021 Egmont Street	Craftsman	c1920-1929	Yes	Yes
GN-B-377	Dr. Robert Burford House – 1017 Egmont Street	Queen Anne	c1887	Yes	Yes
GN-B-378	1009 Egmont Street	Folk Victorian	c1890-1899	Yes	Yes
GN-B-379	L.T. McKinnon House 1001 Egmont Street	Queen Anne	c1903	Yes	Yes
GN-B-380	1000 Egmont Street	Queen Anne	c1890-1899	Yes	Yes
GN-B-381	Shotgun row - 1122 Ellis Street	No Academic Style	c1910-1919	May	Yes

EXHIBIT F



Brunswick Historic Preservation Board

Historic Preservation Design Guidelines

A supplement to The Secretary of Interior's "Standards for Rehabilitation"

Compiled by the
Brunswick Historic Preservation Board

November 1999
Updated March 13, 2000
Updated October 2, 2006
Updated May 21, 2008
Amended June 17, 2015 (Oak Grove)

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Steps for obtaining a Certificate of Appropriateness

1. Applications may be obtained at the offices of the Downtown Development Authority, Old City Hall, 1229 Newcastle Street or the Building Inspector, City Hall, 601 Gloucester Street.
2. Applications must include; Site plan, Plans for scope of work, before photographs, elevation drawings and material sample, if appropriate. A description of these items may be found on the Application.
3. The HP Board meets the first Monday of each month. Applications must be received no later than 15 days prior to the meeting date. Complete applications may be turned in to the Building Inspector or Downtown Development Authority.
4. The HP Board will hold a workshop meeting two Mondays prior to the first Monday meeting. This workshop is held in the second floor conference room, at 6:00 PM Old City Hall. You are encouraged to attend the workshop in order to expedite your application.
5. Attendance at the regular Board meeting is encouraged for all applicants. You will have the chance to speak to the full board, and answer any questions they may have. The Board meetings are held the first Monday of the month at 6:00 PM in the second floor courtroom, Old City Hall.
6. Once your Application is approved, you will be given a copy. Take this copy to the building inspector's office for issuance of a building permit, if required.
7. The Certificate of Appropriateness is valid for 18 months from the approval date. Project construction must begin within 6 months of the approval date.
8. Any questions may be directed to the Historic Preservation Board Secretary at the offices of the Downtown Development Authority, 1229 Newcastle Street, Old City Hall 912-265-4032.

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

Standards for Preservation

1. A property shall be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property shall be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property shall be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and special relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features shall be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. The existing condition of historic features shall be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material shall match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archaeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.

Rehabilitation is defined as the act or process of making possible an efficient compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural or architectural values.

Standards for Rehabilitation

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and special relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Secretary of the Interior's Standards for the Treatment of Historic Properties, Rev. 1992

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

Standards for Reconstruction

1. Reconstruction shall be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location shall be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures shall be undertaken.
3. Reconstruction shall include measures to preserve any remaining historic materials, features and spatial relationships.
4. Reconstruction shall be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property shall re-create the appearance of the non-surviving historic property in materials, design, color and texture.
5. A reconstruction shall be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically shall not be constructed.

Brunswick Historic Preservation Board Local District Design Guidelines

Existing Structure Guidelines for Residential Structures

1. Site

a. Furniture

Antique or Reproduction benches of wood, cast iron or stone are acceptable.

Other wooden features such as trash cans and other contemporary intrusions such as satellite dishes and metal buildings should be out of normal site with no visible link to the historic property.

b. Walks and Driveways

Walks and driveways should be proportionate in relation to the structure.

Appropriate Construction Materials:

Dry-laid or mortar set brick in a variety of patterns, edged with cedar, brick, dirt or gravel. Loose materials may not contact the paved roadway. A hard surface “apron” must be used between the street and sidewalk.

Concrete pavers in squares, rectangles, hexagonal or octagonal shapes.

c. Exterior Lighting

Duplicate house style lighting with reproduction lighting if necessary.

When using reproduction fixtures, the style of the light should respect the architectural period of the structure.

Small unobtrusive foot lights and concealed up-lighting of trees and shrubs are adequate for lighting gardens and walkways.

d. Fences

Wood, brick or cast iron only on visible sides of the house. Street fronting fences (and those from the house line to the street) should be 40” or less in height. Rear yard fences may be up to 72” in height.

The wood picket is one of the most typical (no PVC).

The design of the picket should relate to the style of the house.

Colonial style – Simple

Victorian – fanciful and elaborate

Posts should be pressure treated with minimum contact with the ground (surround the base with concrete).

Rails can be braced with stainless steel angles.

Lumber yards with millwork shops can match fence elements no longer available as stock items.

Rotted and deteriorated pickets should be replaced and new pickets should be fabricated to match existing.

Fence should be a minimum of 2 inches above the ground.

Cast Iron (typical of the late 19th century)

Typical maintenance problems include rust removal, paint removal and waxing.

Typical repairs include replacement of sections and straightening of bent sections.

Paint is best removed with a chemical paint remover using a brush and rags.

Repair of cast iron is best accomplished in a work shop, not at the site.

Finish: Use natural wax or paint. If painted, the first coat should be red oxide or any rust resisting paint. The finish coat should be flat alkyd paint, not a high gloss enamel or latex. Flat black is the best.

Iron work should not be painted the same color as the structure it relates to since it blends into the building, thus lessening the ornamental value.

Chain Link and Wire

These type fences can be used if it is placed in an inconspicuous location and painted or covered with plant material, ie. Ivy or other type of vine covering.

e. Landscaping

Maintain the alignment and spacing of street trees.

No tree over 10 inches in diameter are to be removed without written approval of the Historic Preservation Board.

When old or damaged trees must be removed, similar new trees should be planted as nearly as possible in the original location for purposes of

restoring the canopy.

Keep yards wherever possible. If keeping a yard is not possible, screen the sidewalk from the site with planting beds or hedges.

Do not allow vehicles to be parked on the front lawn, in the front yard, on the sidewalk, over the street lawn space (termed green space), or any median or square area. Vehicles should be parked on the rear service-street or side of the house. If space is not available, vehicles may be parked on the street at the curbside.

The green strip between the curb (termed park) and the sidewalk is to be preserved and maintained.

Even though regular maintenance of the median and squares is the duty of the City and the Parks Department, residents shall guard medians and squares from any misuse.

2. Exterior

a. Exterior siding and trim

Original wood siding and trim shall not be removed unless irreparably damaged. Damaged wood shall be localized and only the minimum amount removed and replaced with new wood of the same profile and dimensions. No. 1, pressure treated, kiln-dried pine is the recommended material for new wood siding and trim, although pressure treated pine, cedar, cypress and cementitious composite board (Hardi-board) are also acceptable. Because the siding and trim are to be painted, the most important issue is to match the profile and dimensions of the original siding or, if on new construction, to match that of other historic wood siding and trim in the historic district. Wood siding should not be exposed to the weather unprotected. All decay and insect damage must be addressed, repaired and stabilized.

Vinyl or aluminum siding is not recommended in the historic district and especially not recommended over existing construction. If this siding is already in place, the same material may be used to make repairs.

Windows

Sills should be made of pressure treated wood.

Broken panes and cracked and missing putty can cause moisture penetration and rapid deterioration of the wooden sashes.

Steps for re-glazing:

1. cracks in window panes filled with putty.
2. loose paint scraped and repainted.
3. loose and cracked glazing putty removed, window sash

4. should be back primed and new glazing putty applied.
glass panes replaced.

Storm windows can be installed to have a minimum visual distraction. Aluminum frames should be painted to match the window trim. Interior storm windows are preferred to exterior.

- b. Awnings
Appropriate awning materials
 - Acrylic
 - Vinyl coated canvas
 - Canvas

Metal awnings introduced after World War II are inappropriate for anything other than post war bungalow structures.

- c. Doors
Doors will be of wood stile and rail construction or composite door with wood veneer that gives a stile and rail appearance.

Screen or storm doors shall be wood construction and shall match the proportions and dimensions of the door behind it.

- d. Porches and Stoops
Pressure treated wood is to be used to repair wooden porches.

Wood preservatives or waterproofing chemicals should be used on the floor boards.

Wood steps and stringers should not make direct contact with the ground. Use concrete footings.

Rails and spindles should be kept painted and sealed to prevent rot. Deteriorated railings and spindles should be replaced with material to match original condition and appearance.

Porches should be enclosed with transparent material such as glass or screen. New materials should be compatible to the original structure.

- e. Gutters and Downspouts
Pole gutters are best for historic properties, so if at all possible retain and repair original gutter system if it exists.

If modern gutters are used, the half-round are best. However, if these are not obtainable, standard gutters are permitted if they are painted the same color as the house.

f. Roofs

Appropriate roof materials
Asphalt composition
Cedar Shakes
Clay Tile
Metal

3. Outbuildings

Outbuildings can be utilitarian.

ie; detached kitchens, smokehouses, springhouses, servants quarters, tool sheds, garages and workshops

Outbuildings can be decorative.

ie; gazebos and summer houses.

Any repairs should utilize as much of the original materials as possible or suitable substitutes. Replacement materials should duplicate the original in composition and design.

The design of a new or replacement of former outbuildings without the assistance of sound documentation should be contemporary and respect the surrounding historic character of the historic property.

New outbuildings incorporated into a historic site with care include gazebos, carports, garages, tool shops, guesthouses, etc.

** Note: Outbuildings used as residences, ie: apartments, will follow the same guidelines as the main structure as it relates to the zoning regulations.

4. Mechanical and Electrical

Air conditioning equipment should be screened from primary view.

Plant material, fencing, and lattice work are acceptable ways to screen these units. The best solution should be one which is compatible with and draws from the details of the building or landscape.

Window air conditioning units can be used if placed flush with the building face and the exposed sides painted to reduce the impact of its presence. These units should be placed on the side or rear of the building, not on the front elevation.

Television antennae and satellite dishes should be placed on the low rear side of the roof or the building so as not to be visible from the street.

Any obtrusive objects such as gas, electric or water meters should be screened by plant material.

Overhead wiring should be kept to a minimum or possibly placed underground.

5. Foundation

Appropriate fill material for in-between footings

Lattice

- a. pressure treated wood, 2" off of the ground.
- b. rot resistant PVC

Pierced brick

color, size and pointing of brick should match the piers. Brick work of infill should not be attached to the piers.

Ventilation

Vents in the foundation walls should be located near the building corners for optimum cross ventilation.

Brunswick Historic Preservation Board Local District Design Guidelines

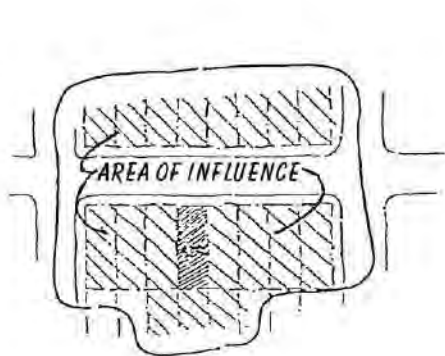
New Construction Guidelines

The purpose of the guidelines for new construction is to assist in the design and construction of a contemporary structure or structures on undeveloped or underdeveloped land in a historic district. These guidelines can also be appropriate in the design for significant exterior renovation of existing non-historic properties in these locations. It is important for the design of new buildings to acknowledge the historic context within which they are to be located. In a district, often the historic significance is contained in the collective character of all the improvements; houses, commercial buildings, street and sidewalk improvements, etc. rather than the form, details or materials of a specific building.

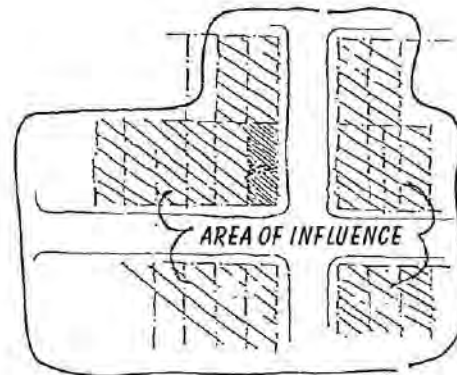
The design of new buildings, often called “infill development,” should be influenced by the character of the district as well as be evaluated for their impact on the district. These considerations should include not only the building but also the site design and landscape treatment.

The following guidelines represent significant principles and other considerations which should be used in the design of and the review of designs for new buildings in historic districts. These guidelines are intended to support a creative design process for new buildings while insuring the historic resources of the community are preserved in the midst of progress.

1. Define the Area of Influence – The area of influence will vary for different locations in or adjacent to a historic district. This zone of influence is important to define at the outset to assure the proposed improvement gives appropriate consideration to the historic resources of the district. Three typical influence areas are presented below. Consideration should be given to the rear areas as well as the characteristics in from of and beside the proposed site.



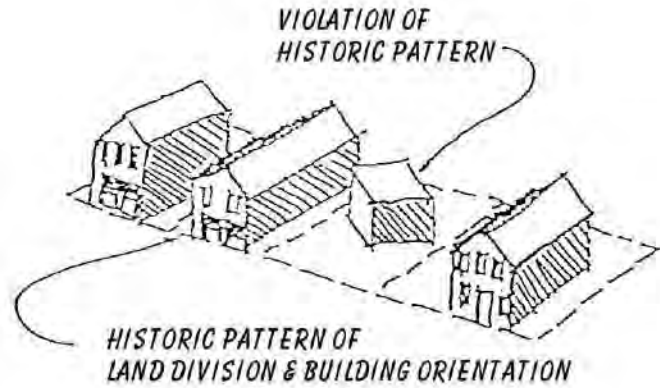
Interior Lot



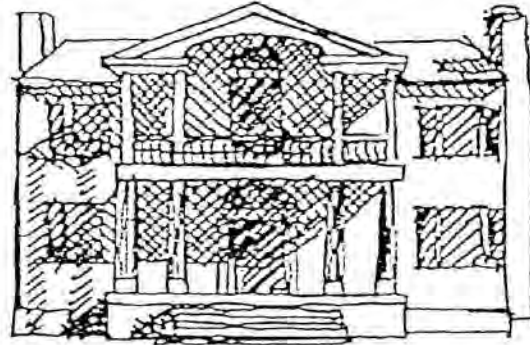
Corner Lot

2. Identify the Historic Context

Recognize and relate to the established configuration of lots and relationship of buildings to lot lines through orientation and setback.



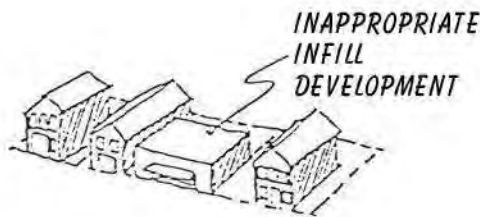
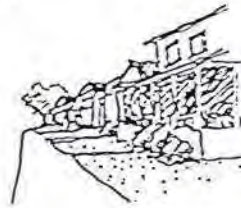
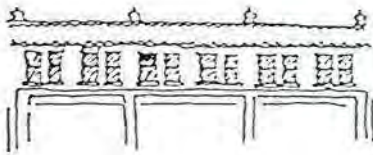
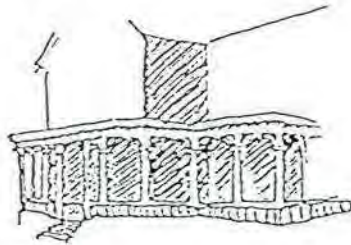
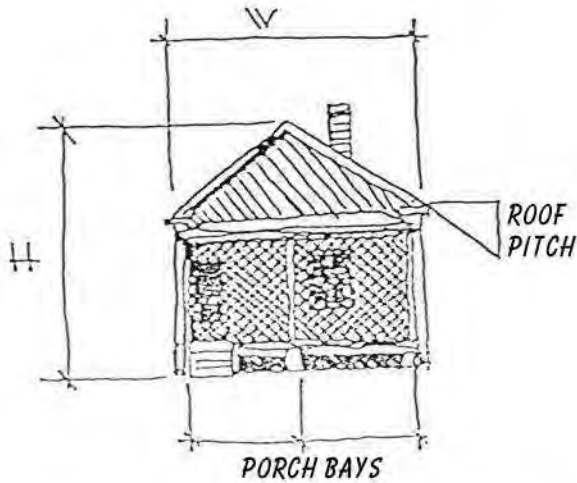
Recognize the historic attempts to control climate by architectural means such as awnings, overhangs, porches, and siting.



Recognize the relationship of façade elements to the scale of a person. Identify the scale of doors, windows, overhangs, etc. of properties within the area of influence to scale of a person. Pursue the use of compatibly scaled elements on the new construction project.



3. Recognize Basic Design Concepts



Proportion – Proportion is the ratio which relates the dimensions of elements of a building (height, width, window size, roof pitch, etc.) to the building as a whole and to each other.

Pattern – Pattern is the arrangement of similar design elements in a regular and repetitive manner as an architectural expression. Patterns can be found in facades of individual buildings or in groups of buildings.

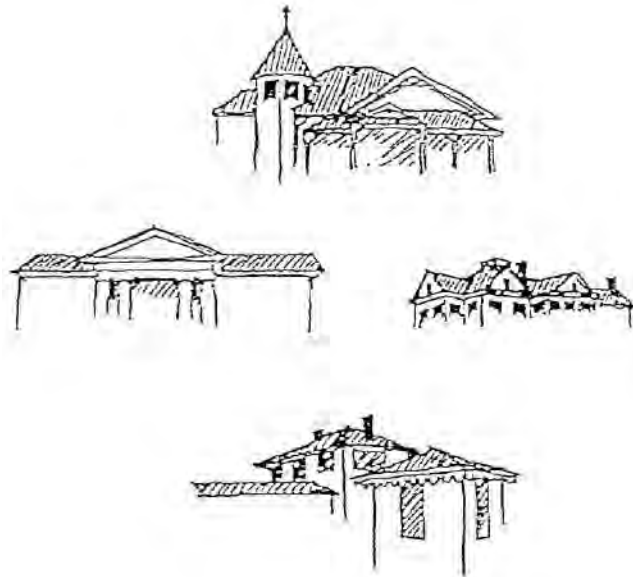
Mass, Height and Form – An area of influence within a district has an established character of height, mass and form. New development should respect and acknowledge the basic sizes and shapes of the surrounding buildings. The new building should express the prevailing building heights within a district, the prevailing scale and proportion of major facades, and the forms typically expressed in primary elevations.

4. Incorporate Architectural Elements of Significance

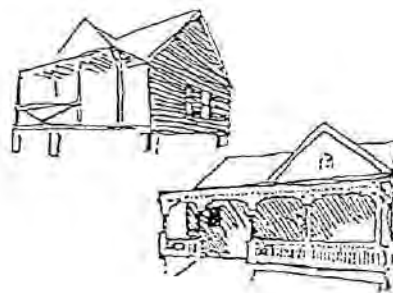
Architectural elements which provide clues to the development of a respectful infill project are identified below. Each of these may be more applicable in one district or area of influence than in others.

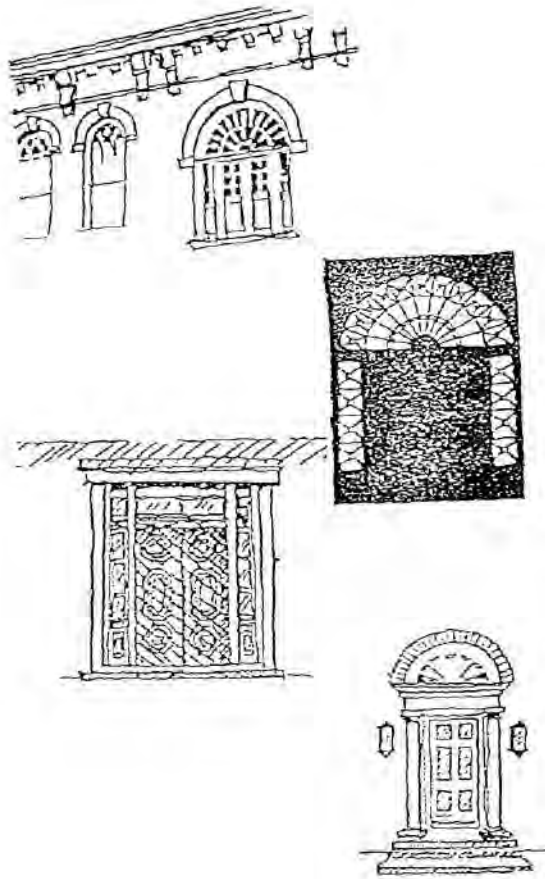
New buildings should not attempt to create “a new historical work” but rather acknowledge the essence of the original work in a district in a contemporary design which uses or is compatible with and complements the original materials, proportions, scale and detail within a district.

Roof shapes, Appendages, Pitches, and Materials – There are a variety of roof shapes and types found within a historic district. Roof drainage systems and chimney forms also influence roof designs. The area of influence for each project will provide focus on this and other architectural characteristics



Walls and Porches – The area and orientation (vertical or horizontal) of walls is a significant design clue. The presence of porches has a distinct influence on the exterior character of walls. The presence of breaks or turns in walls reflects historic functions within a structure and can in a grouping represent a pattern which may deserve recognition in an infill design.





Windows – Windows are an essential element to the interior and exterior of a building. As a result the interior floor plan and light requirements should be established with an awareness of their impact on the exterior façade and the relationship of the resulting elevation of the surrounding area of influence within the historic district. Window size and divisions (lights) represent a pattern which can help integrate a new building into a historic district.

Doors – Door openings, including side lights and transoms, express the relative importance of the entry within and elevation. The placement of the door in relation to windows and the ground (at ground level or from a porch or stoop) and the detailing of the doorway can be important.

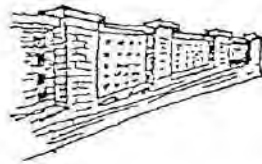
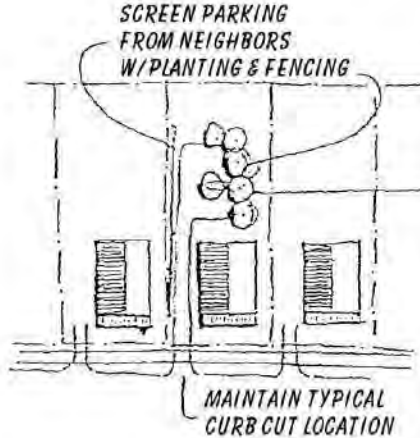
Materials – Materials and ornamentation represent an important and complicated facet in the design continuity of a historic district. It is important that materials of a similar composition, texture and appearance be used with new construction. The object of new design in historic neighborhoods is to preserve the continuity of the streetscape, not to create new historic buildings. Reference existing historic buildings in the district with regard to materials and ornamentation. Choose wood or cement board for lapboard siding. Modern materials with the same texture (smooth, no fake wood grain) and appearance (traditional width or exposure), such as cement board are acceptable. Modern materials with an appearance atypical to the district such as vinyl siding or synthetic stucco (E.I.F.S.) may not be used. Use an equal or lesser degree of ornamentation as found on historic houses in the district.

Details – Fascia, soffit, eave and cornice trim provide a pattern and scale to historic buildings. While a new building may not be able to and probably should not replicate historic trim and details, the pattern and forms of these buildings within a district can be included in a contemporary façade to create a link between the history and the present.

5. Implement Sensitive Site Improvements

Parking & Other Significant Site Features

– Parking is a contemporary site function which is often difficult to address in a historic district. Parking requirements should be tailored to meet the basic needs of the proposed use and respect and preserve the historic character of the district. Consider the availability of alternative transportation modes (walking to work, public transit, biking to work) and the potential for off site lots to meet facility needs beyond the basic requirements. Disperse parking into smaller areas to the greatest degree possible in an area out of prominent view.



Walls and Fences – These site elements should be subordinate design elements to the architecture of the district. They should conform to any historic precedents for screening yards, parking areas or other private spaces. Materials should be traditional.

Mechanical Systems – The location and screening of mechanical equipment is another modern intrusion into a historic environment. These should be located out of sight and be screened with suitable fencing appropriate to the district and/or planting which respects historic planting relationships where applicable. The same principle applies to utility meters and trash containers.

Walks and Drives – The established pattern of walks and drives should be continued. New internal walks and drives should be subordinate to the primary pattern in the area of influence.

Signs – Signage should be subordinate to the architecture of the building and compatible with it. It should be sized to facilitate legibility within a reasonable distance rather than competition for prominence with adjacent signage. In residential districts or commercial areas which were originally residential in character, signage should be limited to small yard signs of uniform character.

Downtown Brunswick GC-C Zone

Shop front Buildings Illustrations and Statement of Intent

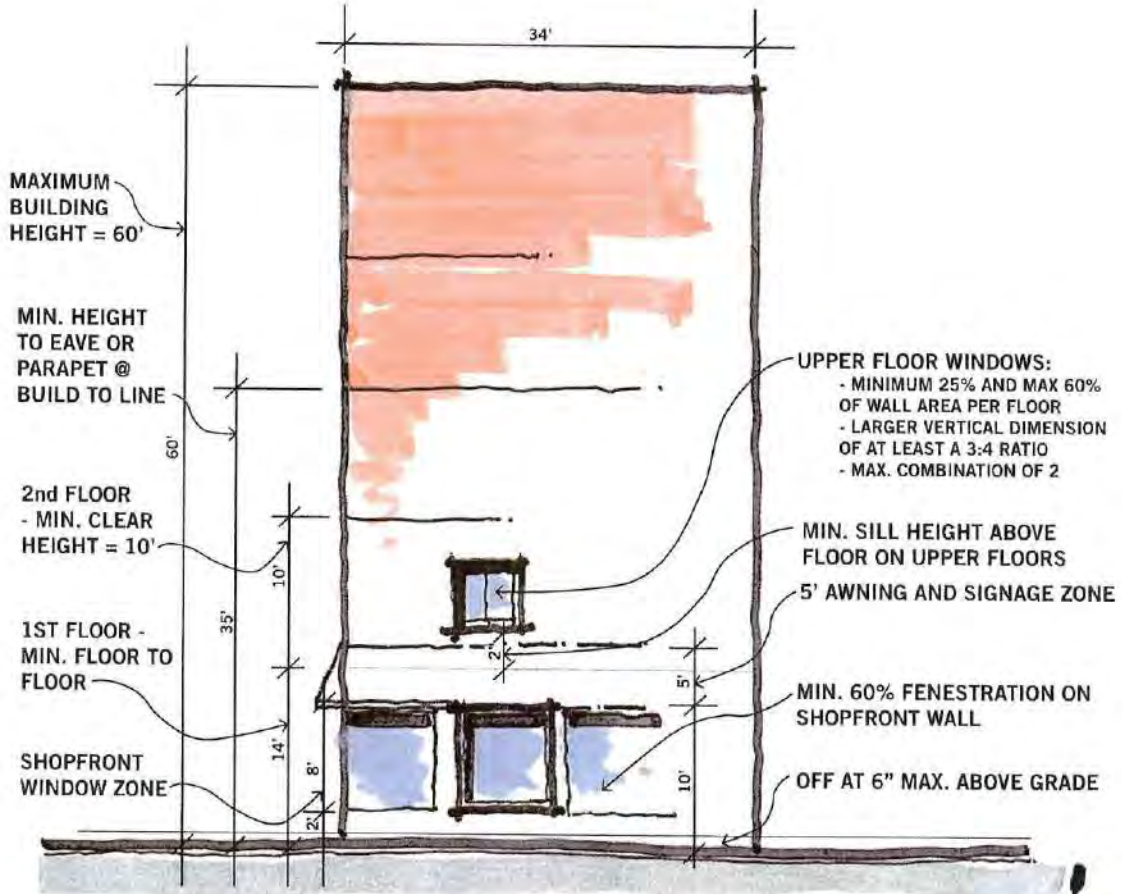


Shop front buildings are the basic building block of every American Main Street. Designed to fire and foster an active street life, their ground floor fronts have large windows to encourage the connection between the commercial activity within and the public life walking or driving by. Ground-floor uses should be flexible to accommodate a variety of retail or office uses. Upper-story uses are best as residential apartments or condos, but they may be offices or workshops on very busy streets. Above-shop residences have proven to be good quality and affordable places for downtown living.

Shop front Buildings Building Placement Standards

Height		<p>The building shall be no more than 60 feet to its eaves. The ground floor elevation shall be no more than 6 inches above the fronting sidewalk elevation. No less than 80% of the ground floor shall have at least 12 feet clear height. No less than 80% of the second storey shall have at least 10 feet clear height. Buildings shall be between 2 & 4 stories.</p>
Siting		<p>The Street Façade shall be <i>Built-To</i> not less than 80% of the street frontage. The maximum building Street Frontage is the lot width. There are no required side setbacks.</p>
Elements		<p>The primary street façade shall have no less than 60% glass fenestration (between 2 and 10 feet above the fronting sidewalk). Awnings and Overhangs of at least 6' projection are encouraged. Shop signs (not more than 1 foot vertical x 3 foot horizontal and minimum 7' clear height above the sidewalk may be hung from such an overhang).</p>
Uses		<p>The Ground floor shall be only commercial uses: Retail, Office, Restaurant and Artisanal Workshops (where there is a storefront office for customer entry). The second floor may be either residential or office use (including small hotel and bed & breakfast operations.) Parking, garages, and accessory uses shall be placed to the rear of the lot. Parking shall be no closer than 25 feet to any Street Frontage and separated from an adjacent different use by a Garden Wall.</p>

Brunswick General Commercial – Core (GC-C) Façade Design Standards



Shopfront Buildings Architectural Standards

STANDARDS FOR BUILDING WALLS (WHERE CLEARLY VISIBLE FROM THE STREET)

Materials: The following materials are permitted.

- Red Brick and tile masonry
- Pre-cast masonry (for trim and cornice elements only)
- Gypsum Reinforced Fiber Concrete (GFRC—for trim elements only)
- Metal (for beams, lintels, trim elements and ornamentation only)
- Split-faced block (only for piers, foundation walls and chimneys)

Configurations and Techniques: The following configurations and techniques are permitted.

Walls

- Wall openings shall not span vertically more than one STORY.
- Wall openings shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
- Wall materials shall be consistent horizontally (i.e. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- Material changes shall be made within a constructional logic—as where an addition (of a different material) is built onto the original building.
- Brick, Block and Stone
 - Must be properly detailed and in appropriate load-bearing configurations.
- No “tabby” finishes

Shopfront Buildings Architectural Standards

STANDARDS FOR ROOFS AND PARAPETS (Where clearly visible from the Street)

Materials: The following materials are permitted.

- Clay or concrete (faux clay)
 - Tile (barrel or flat roman)
 - Slate (equivalent synthetic or better)
 - Metal (standing seam 5-v crimp, equivalent or better)
 - Dimensional Asphalt shingles
 - Cornices and soffits may be a combination of wood, vinyl, and/or metal
- Configurations and Techniques: The following configurations and techniques are permitted.

PARAPET Roofs (Cornice, Entablature, and Coping Standards) Required

Cornices and Other Features

- Skylights and roof vents are permitted only on the roof plane opposite the primary STREET or RBL or when shielded from STREET view by the building's PARAPET wall.
- Overly elaborate, "postmodern" and/or "high-tech" designs are discouraged. However, ornamentation which contributes to the character of the building is encouraged. Consult the Historic Preservation Board for appropriate configurations.
- Green roof technologies are encouraged. Vegetative cover should be considered for flat roofs and solar panels should be considered for integration into pitched roof structures.

STANDARDS FOR WINDOWS & DOORS (Where Clearly Visible From the Street)

Materials: The following materials are permitted.

- Windows shall be of wood or clad wood.
- Window glass shall be clear, with light transmission at the GROUND STORY at least 90 percent and for the upper stories 75 percent. Specialty windows may utilize stained, opalescent or glass block (one per façade maximum).
- Window screens shall be black or gray
- Screen frames shall match window frame material
- Doors shall be of wood, clad wood or steel.

Configurations and Techniques The following configurations and techniques are permitted.

- The following requirements apply to all windows:
 - Windows must be taller than they are wide by a ratio of 3:4
 - Windows may be ganged horizontally (maximum 2 per group) if each grouping is separated by a mullion, column, pier or wall section that is at least 7 inches wide.

- Windows shall be no closer than 30 inches to Building Corners (Excluding Bay windows and where the Building Corner is also a Block Corner.)
- Exterior shutters, if applied, shall be sized and mounted appropriately for the window (one-half the width), even if inoperable.
- The following requirements apply to all upper-story windows:
 - Windows shall be double-hung.
 - Fixed windows are permitted only as a component of a system including operable windows within a single wall opening.
 - Egress windows may be installed according to the appropriate building code.
- The following requirements apply to shop front (ground floor) windows and doors:
 - Single panes of glass not larger than 6 feet in height by 4 feet wide.
 - Ground floor windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space) and shall allow a minimum 60% of surface view into the building for a depth of at least 20 feet.
- Doors
 - Double-height entryways (those that span more than one story) are not allowed.
 - Doors shall not be recessed more than 3 feet behind the shop-front windows and in any case, shall have a clear view and path to a 45-degree angle past the perpendicular from each side of the door.
 - Roll-down security gates and doors are prohibited.

STANDARDS FOR SIGNAGE (Where Clearly Visible from the street)

General:

- Wall signs are permitted within the area between the second story floor line and the first floor ceiling, within a horizontal band not to exceed 2 feet in height. In no case shall this band be higher than 18 feet or lower than 12 feet above the adjacent sidewalk.
- Letters shall not exceed 18 inches in height or width and 6 inches in relief. Signs shall not come closer than 2 feet to an adjacent common lot line.
- Company logos or names may be placed within this horizontal band or placed or painted within the Ground Floor or second story office windows. Company logos or names shall not be larger than a rectangle of 8 square feet.
- A masonry or bronze plaque bearing an owner's or building's name may be placed in the building's cornice/parapet wall or under the eaves, and above the upper story windows. Any such plaque shall be no larger than a rectangle of 8 square feet.
- Street addresses may be placed at street entry doors using 6 inch tall, non-cursive type lettering. Such letter shall be between 6 feet and 10 feet above the grade.
- Blade type shop signs (not more than 12 inches vertical by 3 feet horizontal and minimum 7 feet clear height above the sidewalk) are encouraged and may be hung from an overhang or awning. Blade signs shall not be internally

illuminated and the company name or logo may occupy no more than one-half of the square footage within the blade sign. Creative art, graphics or materials is encouraged in the area of the blade sign not containing the company name or logo. Blade signs shall be permitted in addition to the permitted square footage of signage affixed to the façade of the building.

- Prohibited Signs: Billboards, canopy signs, marquees, any kind of animation, roof signs, No flashing, traveling, animated or intermittent lighting shall be on the exterior of any building whether such lighting is of temporary or long-term duration.
- External lighting directed towards signage that is not internally lit is permitted. The energy efficiency of lighting should be considered.

Awnings & Overhangs:

When an awning or overhang is incorporated into a building, the following requirements must be met:

- Minimum 10 feet clear height above sidewalk, minimum 6 feet depth out from the building façade (maximum to curb or tree-planting strip/furniture zone, whichever is closer).
- Canvas cloth or equivalent (no shiny or reflective materials, metal or glass)
- No internal illumination through the Awning/overhang.
- Lettering on awnings is limited to 5 inches tall on vertically hanging fabric at the curb side of awning.
- No one-quarter cylinder configurations.

Guidelines for Historic Oak Grove Cemetery c.1838

1500 Mansfield St. Brunswick, Georgia 31520

Oak Grove Cemetery Brunswick, Georgia is designated a local historic site under the protection of the Brunswick Historic Preservation Board (BHPB). Plot owners who wish to make changes and/or additions to their plot must contact BHPB at Old City Hall, 1229 Newcastle St. Brunswick, GA 31520 to apply for a Certificate of Appropriateness (C.O.A.). Said application shall include detailed information regarding the changes requested. It shall be in the discretion of the BHPB to approve or reject any or all of the changes request in accordance with the following guidelines:

Guidelines For Historic Oak Grove Cemetery

1. Historic material including but not limited to: bricks, monuments, markers, or artifacts may not be removed from any individual plot or Oak Grove Cemetery, unless private ownership has been established and approved by the BHPB .
2. Any new materials or elements proposed to be additions to an existing plot must be like-kind material to the materials and designs existing or can be proven to have existed by authenticated photographic documentation or authenticated written record.
3. Any proposed restoration, alteration, or repair to the fencing located on the perimeter of an existing plot must match the previous historic fencing in design, height and material. Where plot perimeter fencing is placed for the first time it shall be no taller than three feet in height from ground level, resemble and blend with the surrounding historic fencing. No additional material may be attached to fencing that does not correspond with the historic preservation guidelines, and/or has not been approved by the BHPB.
4. Proposed restoration, alteration, or repair of the coping surrounding and/or outlining graves, the perimeters of a plot, or the marking the corner of a plot shall match the existing coping in design and height using like-kind historic materials, bricks, or stone.

The addition of new coping surrounding and/or outlining graves, the perimeters of a plot, or the marking the corner of a plot shall replicate or resemble all existing historic coping and/or grave outlining in design, height and historic materials, brick, or stone.

5. The addition of a new monument, headstone, marker, statue, or other similar in nature artifact, shall be historically compatible with the established historic landscape and shall not intrude into the tree canopy. Placement of a new monument, headstone, marker, statue, or other similar in nature artifact, shall only be allowed so as to not damage or cause harm to any surrounding monument, headstone, marker, statue, or other similar in nature artifact, or tree. Items unacceptable for plots shall include, but are not limited to, the planting of trees,

- eternal flames, and/or permanent flagpoles. Any item intruding outside of plot boundary, or considered offensive or a nuisance may be removed by the city of Brunswick or its agent, provided first that thirty (30) days written notice is given to the plot or item owner. When a new monument, artifact and/or material is added to the common area of Oak Grove Cemetery, the monument, artifact, and/or other material must first apply for and receive a C.O.A. from the BHPB recognizing the new addition or change as historically appropriate and contributing to the over-all historic nature of the site.
6. Debris burning, bonfires, lighted candles, torches, or open flames of any type are not allowed within in Cemetery limits, unless approved or authorized by the BHPB or the City of Brunswick Board of Commissioners.
 7. Any proposed plant material, shrubs or flowers shall be allowed to private plots where private ownership has been established and approved by the BHPB. The proposed planting of new plant material shall not be invasive, interfere with, or cause damage to monuments, grave sites, or other artifacts and shall not exceed a mature height of two feet. Private plot owners and/or the proven descendant(s) of those interred at Oak Grove Cemetery may not add plant material beyond the boundaries of their plot. No digging activities are permitted at a depth greater than six inches for the purposes of adding plant material to a privately owned plot, all other digging an/or excavating activities are expressly forbidden. Soil may not be removed from the Cemetery, unless otherwise authorized under item no. 8.
 8. Only the City of Brunswick or its designated agent, are authorized to conducted any excavation, digging, soil relocation, or other related activity in the areas of the Cemetery owned or governed by the City of Brunswick. Under no circumstance shall metal detecting be permitted anywhere within the Cemetery grounds.
 9. Only the City of Brunswick or its designated agent, are authorized to conduct any tree removal, maintenance, or trimming within the Cemetery grounds. Provided however that when presented to the BHPB, minor alterations to trees or shrubs that may threaten private plots, and/or monuments, headstones, or other historic artifacts located therein, a C.O.A. may be issued to address the situation.
 10. Plot owners and/or their proven descendant(s) shall be required to maintain any mausoleum, crypt, monument, headstone, marker, statue, or other similar in nature artifact, in accordance with the “Standards for Preservation and Restoration of Historic Properties “as specified by the Secretary of the Interior. For the purposes of the issuance of a C.O.A. damaged elements shall be repaired, rather than replaced where possible. If repair is not possible, replacement should match the original as closely as possible.
 11. In the event a plot owner and/or their proven descendant(s) are unable to comply with the foregoing Guidelines it is strongly encouraged that they contact or enlist the help of the non-profit recognized by the City of Brunswick as a partner in the maintenance and general upkeep of Oak Grove Historic Cemetery. A copy of the

resolution naming a non-profit to contact shall be available within the records of the BHPB and a copy is filed at the City of Brunswick Clerk's office located on the 1st Floor of City Hall.

Definitions:

Historic Oak Grove Cemetery shall be defined and identified by the description and language provided for in Section 5-36 of the City of Brunswick Code of Ordinances.

Adopted:

Brunswick Historic Preservation Board: April 6, 2015

Approved:

Brunswick City Commission: June 17, 2015

Historic District Questions & Answers

- Q. What is an historic district?
- A. This is a locally designated area in which any proposed plans for major exterior alterations, new construction, or demolition must be reviewed and receive a Certificate of Appropriateness. Proposed plans will be reviewed on the basis of (1) general compatibility with the surrounding neighborhood; (2) enhancement, rather than diminishment, of the architectural and historic value of the structure; (3) respect of the integrity of the architectural style of the structure.
- Q. Do I have a choice about whether or not my property is included in an historic district?
- A. An historic district will not be imposed upon a neighborhood against the wishes of a majority of the people who own property in the area. When an area is recommended for historic district designation, a public hearing will be held so that the views of property owners can be heard.
- Q. What if an historic district is created and, at a later date, I decide I don't like it?
- A. If a majority of the property owners petition the City Council for repeal, the ordinance can be appealed. In addition, the City Council has the right to appeal any ordinance at its own discretion.
- Q. If my house is in an historic district, do I have to open it to public tours?
- A. Absolutely not. There is no public access involved.
- Q. If my property is in an historic district, can I still operate it as an apartment house?
- A. Designation of historic districts has no effect upon zoning or land use. It is a zoning ordinance that determines how a property may be used.
- Q. If my property is in an historic district, will I have to pay an extra tax?
- A. Historic districts are somewhat like an improvement district, but without the taxing authority. There is no extra tax imposed upon and historic district. Instead, you may be able to qualify for certain federal tax benefits.
- Q. Will I be required to make improvements to my house?
- A. Being within an historic district does not require property owners to do any work on their house they were not planning to do anyway. No one can force you to make changes unless you want to make changes.
- Q. What about the interior of my house?
- A. The ordinance will have absolutely no control over the interior of any building.
- Q. Will the Commission review minor repairs to my house?
- A. No. Ordinary maintenance, or repair, of any exterior feature that does not involve a physical change of design and, thus, does not require a building permit, will not need a Certificate of Appropriateness.

- Q. If I am building a new structure, does it have to be of historic design?
- A. No. there will be nothing in the guidelines to preclude contemporary architecture. The Historic Preservation Commission will review the plans for any proposed construction to ensure that it will be *compatible* with the surrounding neighborhood and not have a negative influence.
- Q. What if I am denied a Certificate of Appropriateness?
- A. You may, within fifteen days after the making of such a decision, appeal to the Mayor and City Commission. If not satisfied with their action, then appeal to the Superior Court.
- Q. What if I do not receive a Certificate of Appropriateness and do what I want to do anyway?
- A. You will be guilty of a misdemeanor resulting in fines and possible jail time.
- Q. Will the controls in an historic district make it more difficult to sell my property?
- A. Not at all. The neighborhood will be enhanced and, thereby, so will your property. Experience with other historic districts has shown a strong improvement in the housing market within historic district areas. There are no limitations set on the sale of property by the Historic Preservation Ordinance.
- Q. What does the establishment of an historic district do to my property values?
- A. We don't know for every individual case. However, the evidence from other historic districts indicates that property values are generally found to stabilize or increase.
- R. Historic districts seem like a lot of trouble. Is it worth it?
- A. There will actually be very little inconvenience caused to the average property owner and, as a result, the entire historic district will be maintained and improved as a desirable place to live and as a unique area of special interest. The Historic Preservation Ordinance will help us maintain the special contribution which this area's historic architecture makes to our community. A richness and a diversity are added to our lives by the presence of an historic district through the maintenance of a living example of some of the finer elements of our American heritage.

Why Do We Want An Historic District?

1. It will have a strong stabilizing effect on the investment the property owner has in his property. Neighborhoods go through a cycle. When a neighborhood is new, there is a growth stage. The demand is high, the supply low, and hence property values are also high. At some point an equilibrium stage is reached and, due to age and other factors, property values tend to fall off. Unless some outside influence is injected on the downward slide, property values will continue to fall. By and large, historic districts established across the country have been the outside influence that has stopped the neighborhoods from continuing on their downward slide. Values tend to bottom out and begin to increase again.
2. The assurance that the distinctiveness of the area will be protected will encourage many property owners and residents of the neighborhood to improve their property and spur many on to seek further improvements such as cleaner streets, better lighting, and other increases in public services.
3. It will be a factor in encouraging the restoration of structures of historic or architectural importance within the districts and guard against their demolition, thus making it unnecessary to turn such buildings into tax exempt museums in order to assure their preservation.
4. Protection of the character and continuity of the district will be assured by introducing a design review of new construction in the area, making sure the integrity remains intact. Is the roof design compatible with the buildings? Is the building tall and thin while the surrounding area is all horizontal? How do the height, scale, spaces, etc., relate to what is going on in the immediate vicinity?
5. It will insure the architectural integrity of the proposed historic district by reviewing any proposed plans for major exterior alterations or demolition so as to avoid further changes that will have an adverse effect on that area.
6. The historic district includes downtown. For this reason there have been many incompatible intrusions into the area. It is obvious that existing zoning could benefit from the support of a case by case – much closer – design review process included in a historic district ordinance. The neighborhood will be better able to protect and preserve the architectural and historic integrity of the area and stop unwanted changes and intrusions. If the neighborhood does not band together, bit by bit, there will be an erosion of one sort or another. It is a judgment each property owner will have to make as to whether he or she likes some of the changes that are happening generally, or whether everyone together can work more creatively.

EXHIBIT G

AFFIDAVIT

STATE OF GEORGIA

COUNTY OF GLYNN

Comes now Affiant, ROBERT G. DUNCAN, who, after being duly sworn deposes and states as follows:


1. My name is ROBERT G. DUNCAN, and I am over 21 years of age, under no legal disabilities, and give this Affidavit of my own personal knowledge.
2. I am an architectural designer. I have performed architectural design for 30 years.
3. I am familiar with the Brunswick Old Town Historic District.
4. I designed the garage/carriage house ("Carriage House") for the property located at 900 Carpenter Street, Brunswick, Georgia. A copy of the Plan is attached hereto as **Exhibit "A"**.
5. I designed the Carriage House to match and compliment the style of the historic Nightingale-Hughes House located on the property. The Carriage House features similar rafter tails, gutters, frieze, fascia, and skirt boards to match the historic house. The Carriage House also contains a gable bracket in a similar style to that of the historic house.
6. The Carriage House not only complements the existing historic house on the property, but is also compatible with the Old Town District as a whole and other similar carriage house structures within the Old Town District.

7. The Carriage House, as designed in the Plans, also complies with all underlying City of Brunswick zoning requirements, including setbacks and maximum height restrictions.

Further Affiant saith not.


Name:

Sworn to and subscribed
before me this 2nd day
of August, 2021.

 (seal)
Notary Public



My Commission Expires: May 1st 2023

EXHIBIT H



CITY OF BRUNSWICK, GEORGIA
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES
 Brunswick Historic Preservation Board

COA

1. Name of Applicant: Dan and MaryBeth Brothers Date: February 10, 2020

You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.

Mailing Address: 132 Meadowlark Circle Savannah GA Zip Code: 31419

Daytime Telephone: Dan 404-771-0416 Mary Beth 770-596-5994

E-mail Address: dbrostwo@gmail.com

Relationship of Applicant to Property: Owner () Architect () Contractor
 () Other (Specify) _____

2. Address and Legal Description of Property: southerly 1/2 lot 278 Old Toen City of Brunswick 26, G.M.D. Glynn County GA recorded DB 2781, page 478

Year Built: 1904 Historic Designation: Historic (more than 50 years old and contributing)
 Era: _____ () Historic-obscured (50 years old but not contributing)
 () Non-historic (less than 50 years old, yet not detracting)
 () Intrusions (any aged structure, which detracts)
 () Vacant

3. Proposed Work:

- New Construction
- Demolition
- Relocation
- Excavation
- Fencing or landscaping
- Reconstruction or alteration of the size, shape or façade of an existing structure.
- A change in the location or extent of signage.
- New Signage
- Parking Lot, Driveway or Walkway
- Outbuilding or Accessory Structure
- Lighting Fixtures
- Other

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

Proposed work consist of building new board privacy fence between this lot and the lot owned by Roy and Ethel green. Construct a brick column and wood privacy fence along a portion of the First street side (picture provided.) Construct a new carriage house along the Ellis Street property line at the rear. We are seeking a variance to build on the existing set back line which is in keeping with other structures through out the old town district. Demolish the existing deck, add approx. 200 sq ft. addition screen porch, and new deck to rear of the existing structure. (plans and pics. provided) Additional improvements: repair various areas of rot and decay, these repairs to be made using Hardi plank type materials to avoid future maintenance. All work to be done in keeping with the style and appearance of the structure. Replace entry door with 4lite one vertical panel door unit. Replace entry buttress to match period, repair piers at foundation and provide solid infill with foundation vents as per detail.

IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.





CITY OF BRUNSWICK, GEORGIA
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES
 Brunswick Historic Preservation Board

C₂

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

SIGNATURE OF APPLICANT:

Don Brothman

Staff Comments:

CITY OF BRUNSWICK
CERTIFICATE OF APPROPRIATENESS
 Brunswick Historic Preservation Board

A Certificate of Appropriateness is hereby issued to:

Dan + Marybeth Brothers

For the following actions: *CONSTRUCTION OF ADDITION, ADDITION OF VIEWS, REPLACE DOORS, ADDITION OF FENCE, AND CARRIAGE HOUSE CONSTRUCTION, AND PLANS AS SUBMITTED*

at *606 UNION ST.*

provided the following conditions are met:



SIGNATURE:

Will Worley

Chairperson, Historic Preservation Board

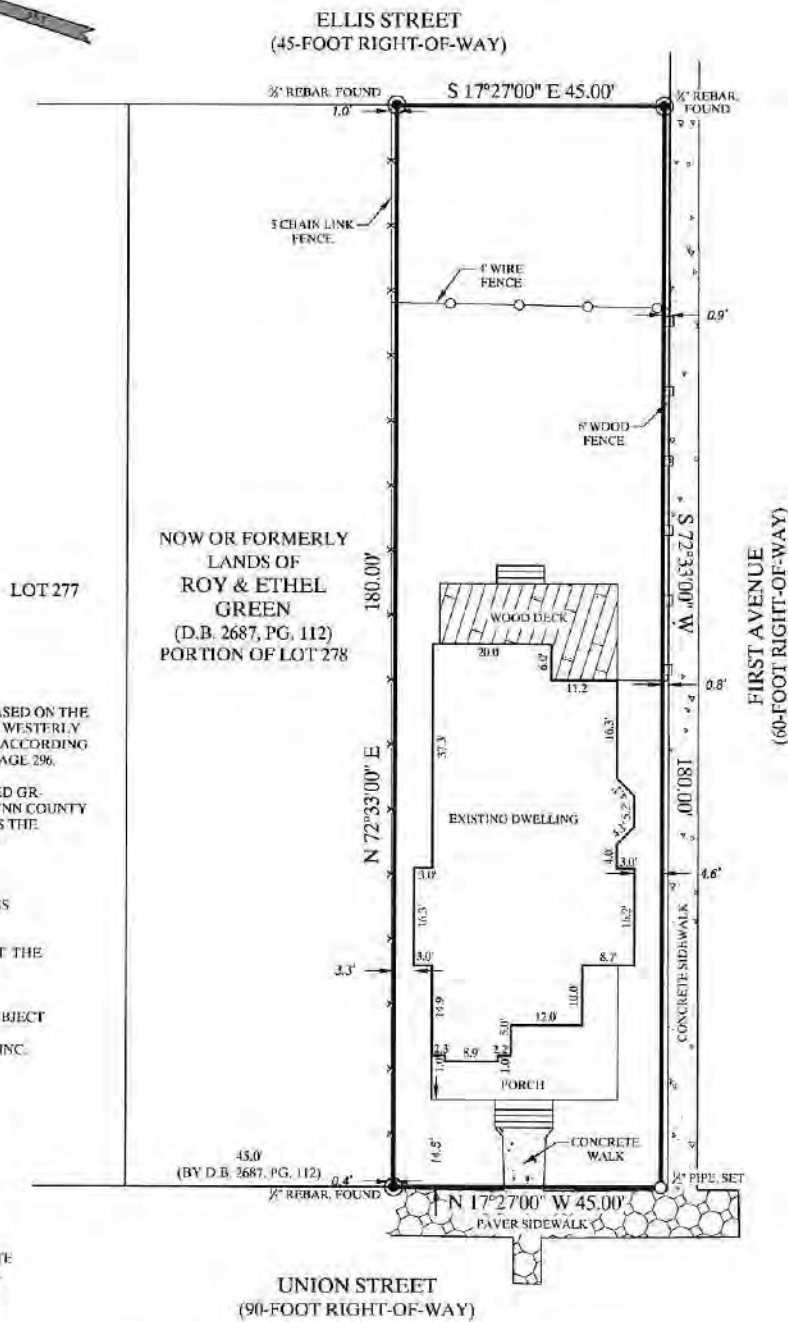
DATE:

3/2/20

MAP TO SHOW SURVEY OF
OF THE SOUTHERLY 1/2 LOT 278, OLD TOWN,
CITY OF BRUNSWICK, 26th G.M.D.,
GLYNN COUNTY, GEORGIA
 (ACCORDING TO DEED RECORDED IN D.B. 2781, PAGE 474 OF THE PUBLIC RECORDS)

FOR: DANIEL BROTHERS

AREA = 0.186 ACRES



NOTES:

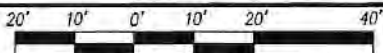
1. BEARING SHOWN HEREON ARE BASED ON THE BEARING OF N 17°27'00" W FOR THE WESTERLY LINE OF THE SUBJECT PROPERTY, ACCORDING TO PLAT RECORDED IN D.B. 3434, PAGE 296.
2. THE SUBJECT PROPERTY IS ZONED GR-GENERAL RESIDENTIAL PER GLYNN COUNTY GIS. THE SUBJECT PROPERTY HAS THE FOLLOWING BUILDING SETBACK REQUIREMENTS:
 - 3.1 FRONT: 20- FEET
 - 3.2 SIDE & REAR: 7 FEET
 - 3.3 CORNER LOT - STREET OF LESS IMPORTANCE: 10- FEET
3. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE ABSTRACT.
4. THERE MAY EXIST ADDITIONAL RESTRICTIONS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT KNOWN TO JACKSON SURVEYING, INC.

CLOSURE STATEMENT:

PROPERTY CORNERS SHOWN HEREON HAVE A POSITIONAL TOLERANCE OF 0.06 FEET

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN INFINITY.

EQUIPMENT USED FOR FIELD MEASUREMENTS: TRIMBLE S5



GRAPHIC SCALE: 1" = 20'

DATE OF PLAT: NOVEMBER 22, 2019
 DATE OF FIELD SURVEY: NOVEMBER 21, 2019

I HEREBY CERTIFY: THAT THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-1 OF THE BOARD RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.



PHILLIP JACKSON
 GA. REGISTERED SURVEYOR No. 2804



JACKSON SURVEYING, INC.
 Surveyors and Land Planners
 LSP001244

3520 DARTEN HIGHWAY, SUITE 217
 BRUNSWICK, GEORGIA 31525
 (mail: info@brunswicksurveyor.com) Ofc: 912-263-3856
 Fax: 912-265-9509

DWN. BY: K.C.J. CKD. BY: P.J.
 DWG. NO.: 80230-11-00-19 FB 118, PG. 56

Google Maps 600 Ellis St



Image capture: Apr 2014 © 2020 Google

Brunswick, Georgia



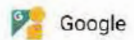
Street View

Google Maps 600 Ellis St



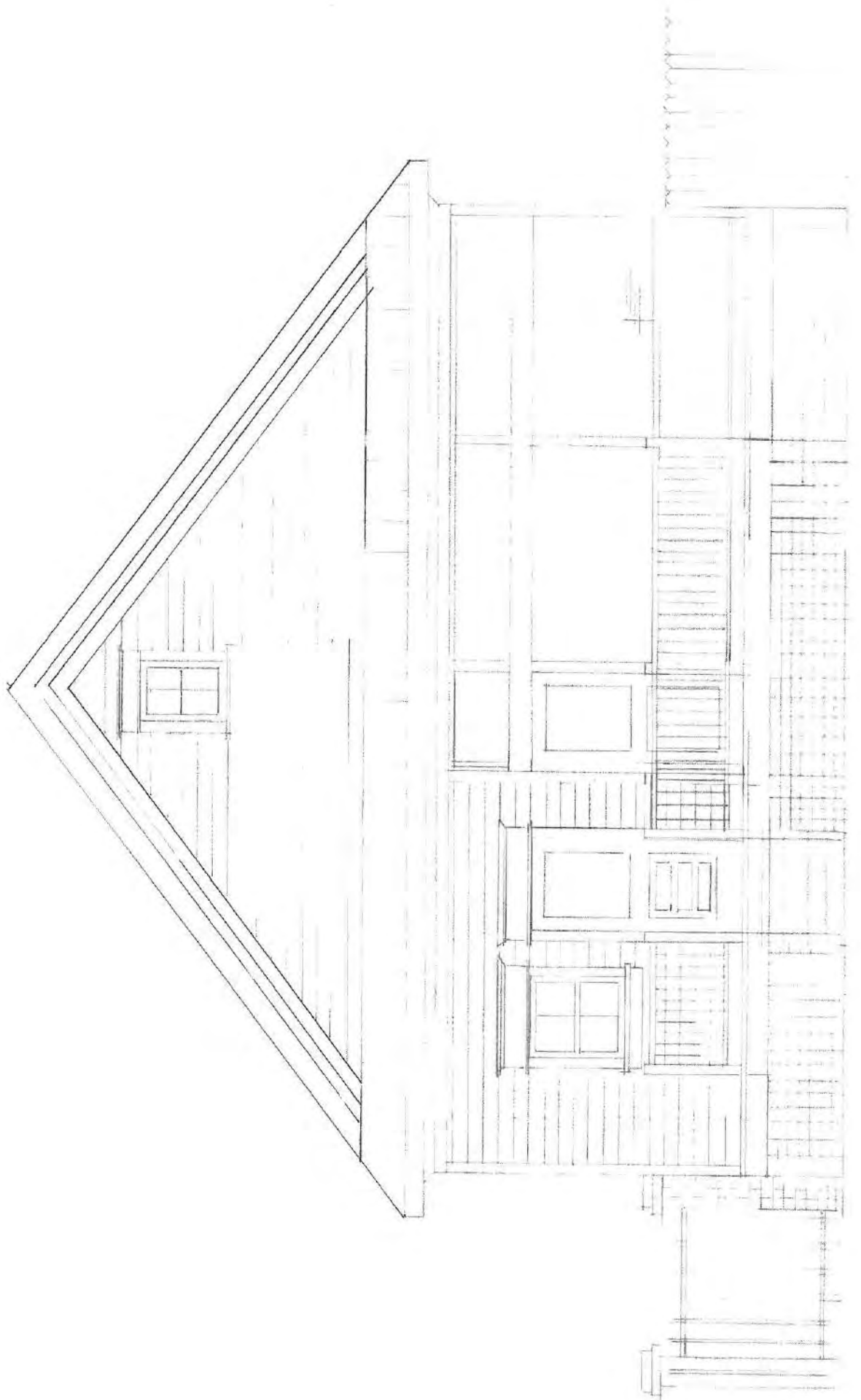
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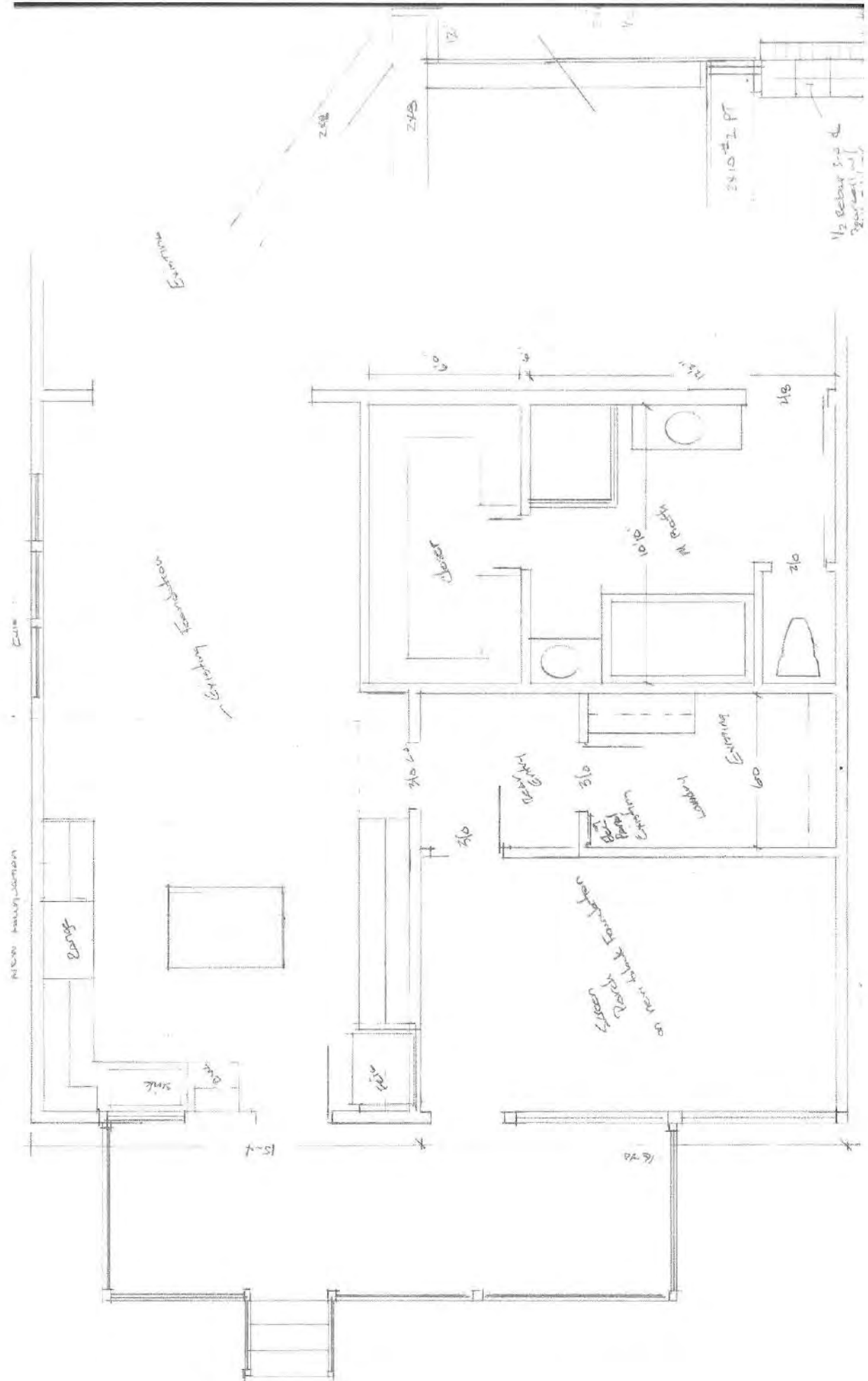
Brunswick, Georgia

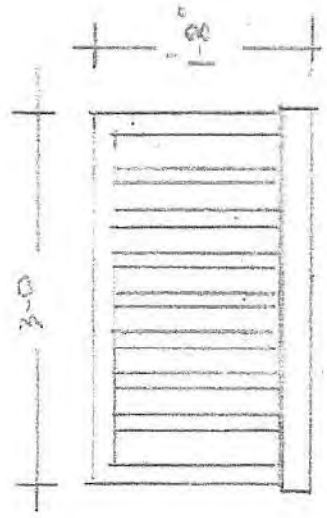


Street View



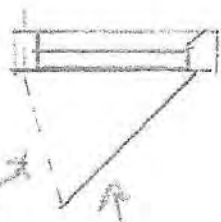






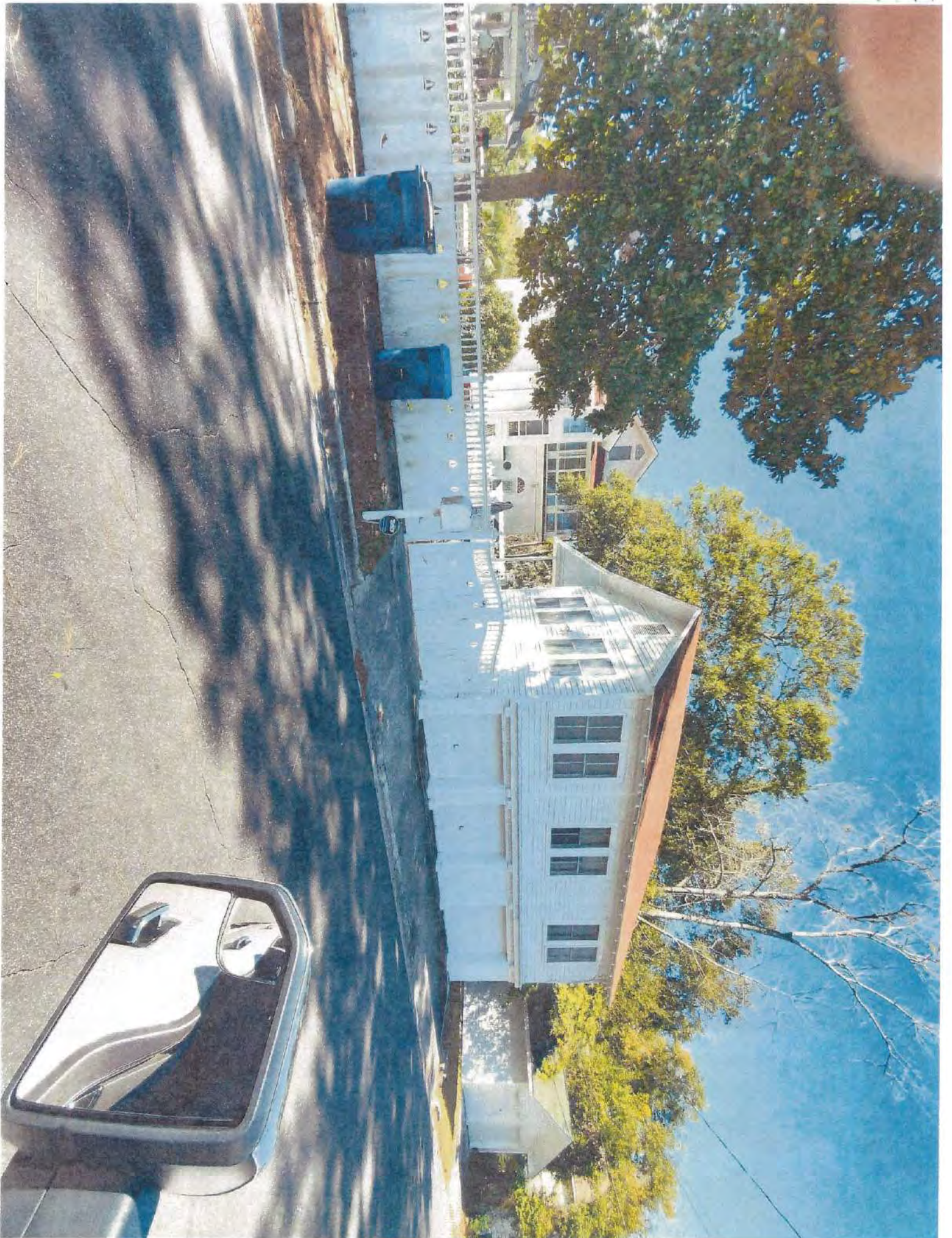
Chain closer

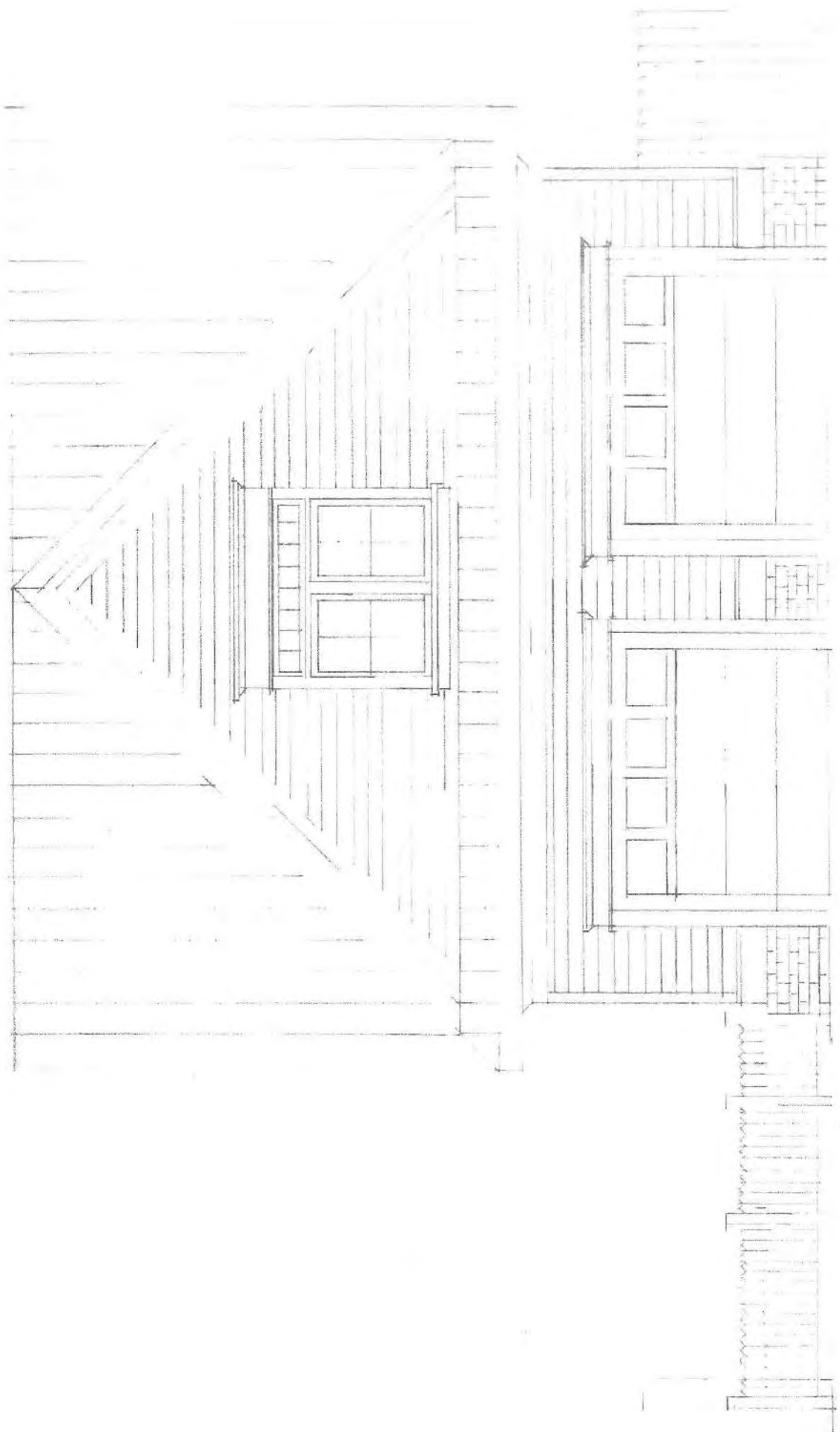
Handglass
 Transper

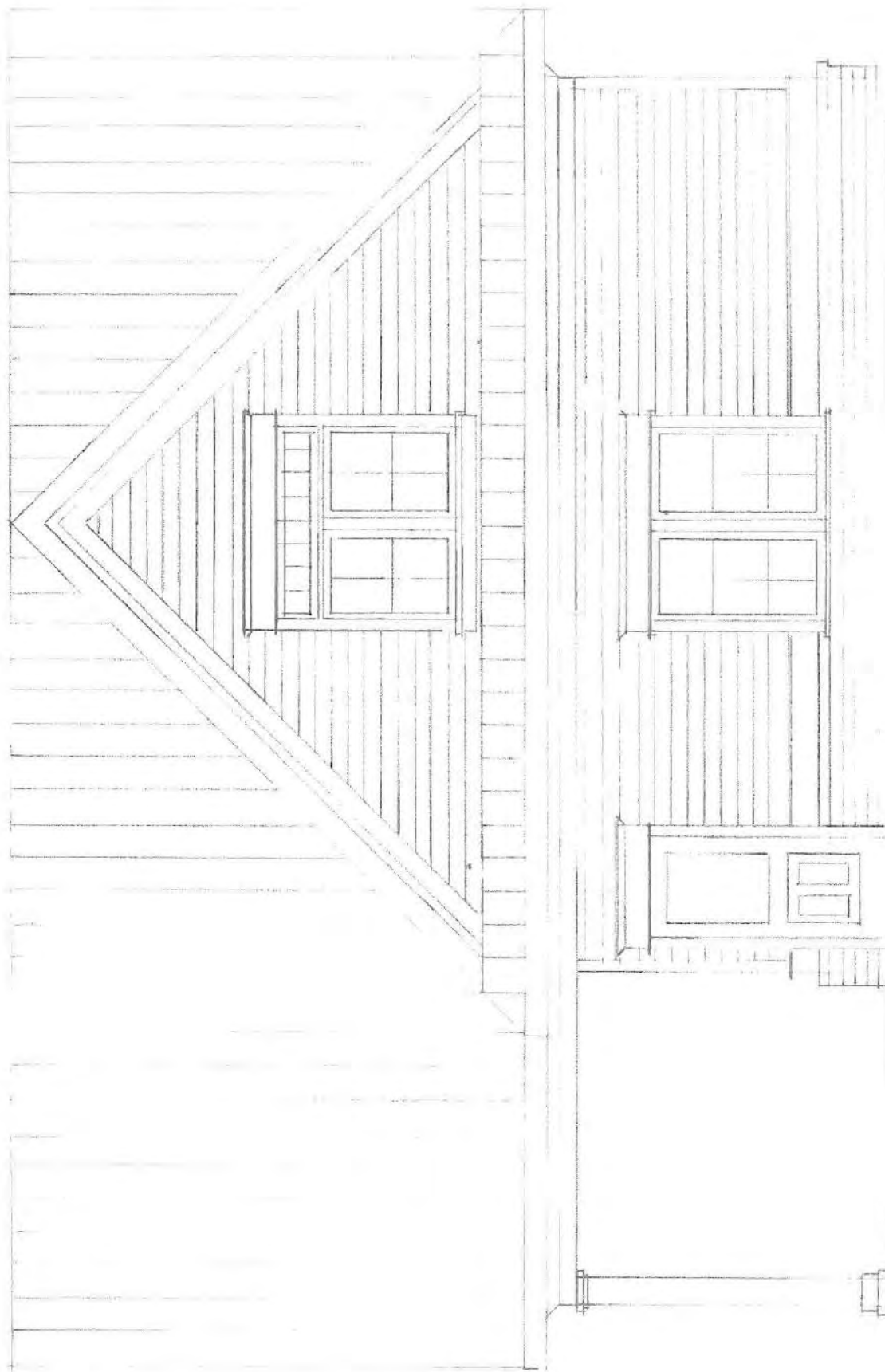


Transper vent 2 - Front & Back
 4 on each side 1/2 = 1-0

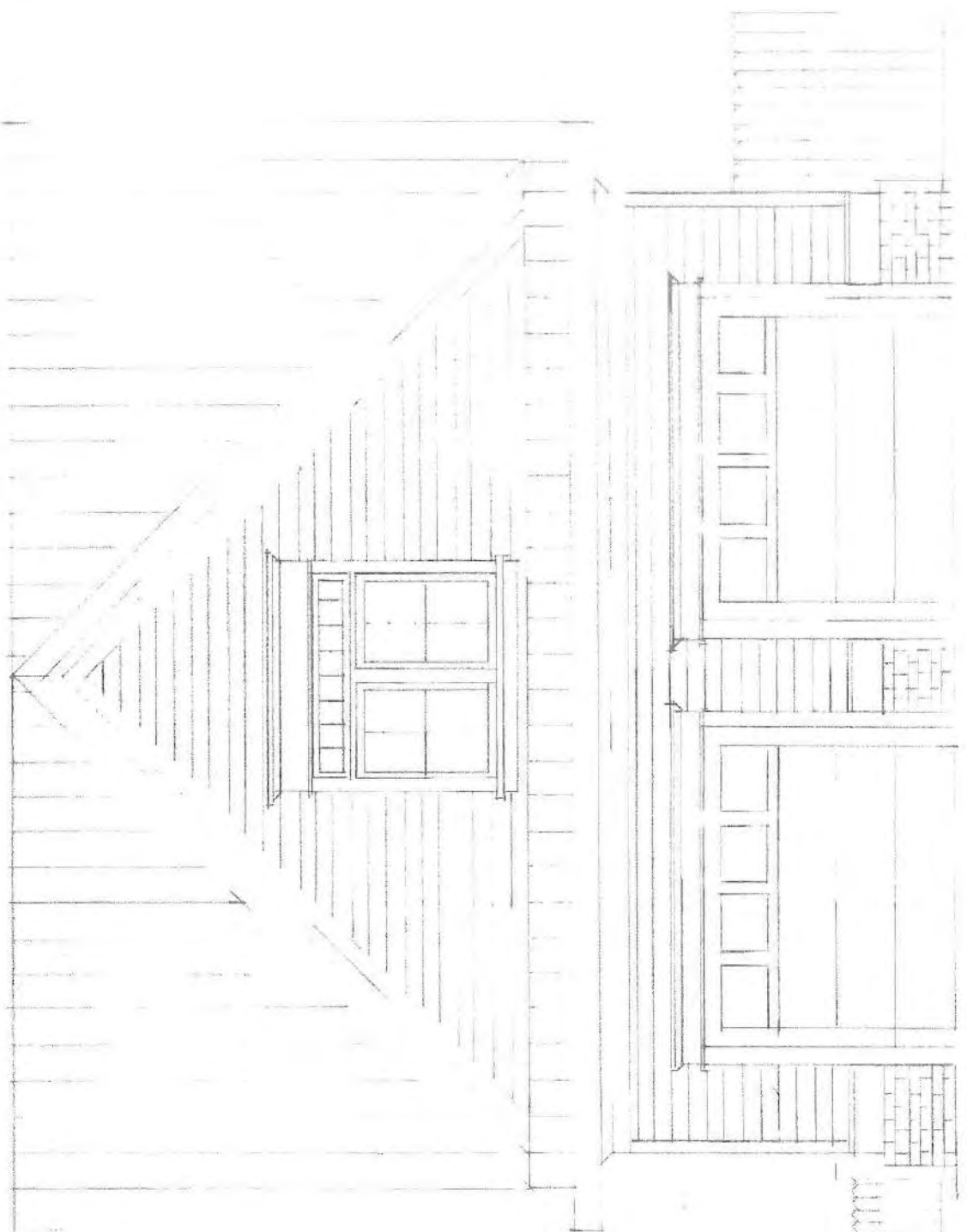












Architectural drawing showing a section of a building facade with a window and a gabled roof structure.



Summary

Parcel Number 01-01035
Tax District Brunswick (District 01)
Alias N/A
Location Address 804 GEORGE ST
 BRUNSWICK, GA 31520
Millage Rate 24.030
Legal Description PTN 304,305 OT
Subdivision OLD TOWN
Documents DB 1847, Pg 389; City Plat No.3
Class Code R1 - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
Neighborhood Union St. Victorian (Code: 101)
Zoning GR
Map# Block-Lot B009-07 029-001
Property Class SFR
Homestead Exemption Yes
GIS Mapped acres 0.23
Elementary School Oglethorpe Point
Middle School Glynn Middle School
High School Glynn Academy
Commissioner District DISTRICT 5 - ALLEN BOOKER, Phone (912)398-9923 abooker@glynncounty-ga.gov

View Map

Owner

NEIMAN JAMES & CONCETTA MARY NEIMAN
 804 GEORGE ST
 BRUNSWICK, GA 31520

Value Information

	2021
+ Land Value	\$21,900
+ Improvement Value	\$256,400
= Total Value	\$278,300
Assessed Value	\$111,320

Improvement Information

Building Use	Single Family	Stories	2
Style	Colonial	Roof Cover	Metal
Heated Sq Ft	3556	Flooring Type	Pine / Plywood
Interior Walls	Drywall	Heating Type	Cool / Heated Air
Exterior Walls	Frame	Rooms/Bedrooms/Bathrooms	9 / 5 / 3.0
Year Built	1885	Number Fire Pl	3

Miscellaneous Improvement Information

Type	Length x Width	Area	Year Built	Value
Garage - Frame	36 x 29	1044	2008	\$14,500
Open Frame Porch	29 x 6	174	2008	\$2,000

Sale/Transfer Information

Date	Deed Book and Page	Price	Deed Type	Grantor	Grantee
12/2/2019	4125 236	\$319,000		STRASSER KEVIN	NEIMAN JAMES
5/25/2018	3896 31	\$185,000		KASPER SEAN R	STRASSER KEVIN
12/10/2014	3377 33	\$0	QC	KASPER SEAN R	KASPER SEAN R
1/3/2006	1847 389	\$325,000		CLAW & HAMMER INC	KASPER SEAN R
11/30/2004	1569 445	\$0	CORRECTION		CLAW & HAMMER INC
10/15/2004	1531 248	\$0	FORECLOSUR	KINSTLE PHILLIP	LEE CLAW & HAMMER INC
3/1/1986		\$55,000			

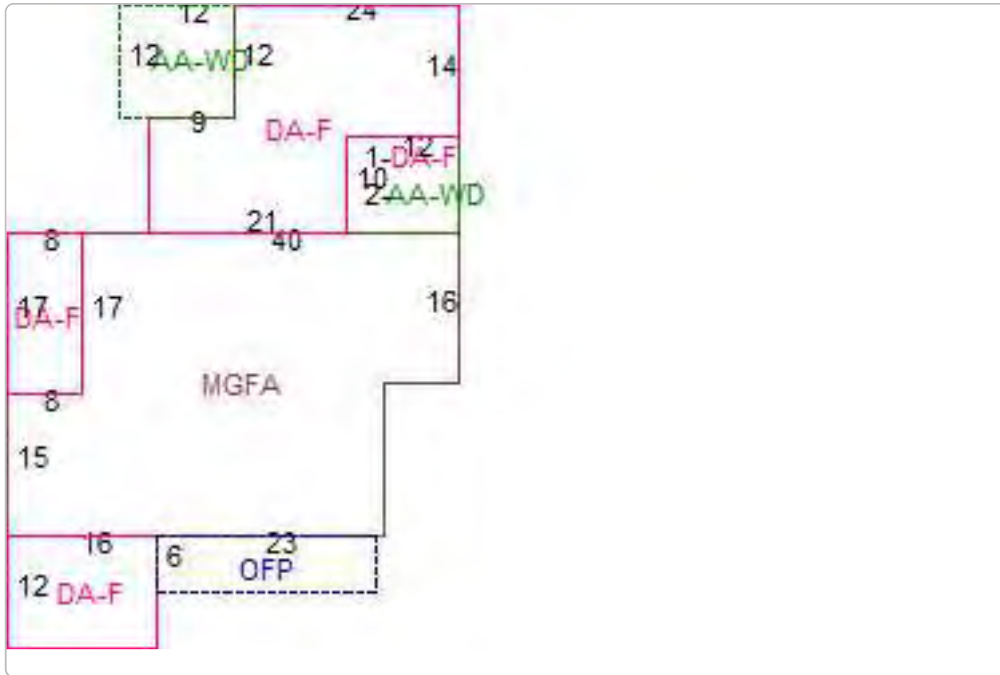
2021 Notice of Assessment

[2021 Notice of Assessment \(PDF\)](#)

View/Pay Tax Bills

[View/Pay Tax Bills](#)

Sketches



Legend

- AA-LN - Attached Addition Landing
- AA-PC - Attached Addition Patio Closed
- AA-PO - Attached Addition Patio Open
- AA-UR - Attached Addition Utility Room
- AA-WD - Attached Addition Wood Deck
- AA-WD2 - Attached Addition Wood Deck 2nd Story
- AA-WD3 - Attached Addition Wood Deck 3rd Story
- AA-WD4 - Attached Addition Wood Deck 4th Story
- AG-F - Attached Garage Frame
- AG-B - Attached Garage Brick
- CA-C - Commercial Addition Canopy
- CA-F - Commercial Addition Frame
- CA-M - Commercial Addition Masonry
- CA-S - Commercial Addition Steel
- CD - Canopy & Dock
- CRPT - Carport
- DA-F Dwelling Addition Frame
- DA-F2 - Dwelling Addition 2nd story
- DA-F3 - Dwelling Addition 3rd Story
- DA-M - Dwelling Addition Masonry
- DOCK - Dock
- EFP - Enclosed Frame Porch
- EMP - Enclosed Masonry Porch
- MGFA - Main Ground Floor Addition
- MGFA2 - Main Ground Floor Addition 2nd Story
- MHGFA - Manufactured Home Ground Floor Addition
- OFF - Open Frame Porch
- OFF2 - Open Frame Porch 2nd Story
- OFF3 - Open Frame Porch 3rd Story
- OFF4 - Open Frame Porch 4th Story
- OFFS - Open Frame Porch Screened
- OMP - Open Masonry Porch
- OMP2 - Open Masonry Porch 2nd Story

Recent Sales In Area

Sale date range:

From:

07/13/2011

To:

07/13/2021

Sales by Neighborhood

Sales by Subdivision

1500

Feet

Sales by Distance

No data available for the following modules: Summary (MH), Owner (MH), Value Information (MH), Improvement Information (MH), Improvement Information (Manufactured), Misc. Improvement Information (MH), Photos, Planned Development.

Glynn County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy
GDPR Privacy Notice



Last Data Upload: 7/10/2021, 4:26:49 AM

Version 2.3.130

Google Maps 1099 Ellis St

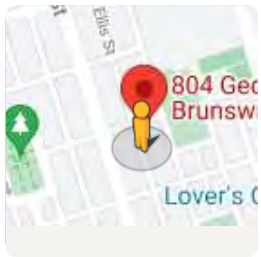


Image capture: Jan 2019 © 2021 Google

Brunswick, Georgia



Street View





Summary

Parcel Number 01-01100
Tax District Brunswick (District 01)
Alias N/A
Location Address 917 EGMONT ST
 BRUNSWICK, GA 31520
Millage Rate 24.030
Legal Description PTN 310 OLD TOWN
Subdivision OLD TOWN
Documents DB 2261, Pg 128; City Plat No.3
Class Code R1 - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
Neighborhood Union St. Victorian (Code: 101)
Zoning GR
Map# Block-Lot B009-07 044-005
Property Class SFR
Homestead Exemption Yes
GIS Mapped acres 0.24
Elementary School Oglethorpe Point
Middle School Glynn Middle School
High School Glynn Academy
Commissioner District DISTRICT 5 - ALLEN BOOKER, Phone (912)398-9923 abooker@glynncounty.ga.gov



View Map

Owner

MEACHAM JAMES M & KATHRINE M MEACHAM
 917 EGMONT ST
 BRUNSWICK, GA 31520

Value Information

	2021
+ Land Value	\$13,300
+ Improvement Value	\$410,500
= Total Value	\$423,800
Assessed Value	\$169,520

Improvement Information

Building Use	Single Family	Stories	1
Style	Raised Ranch	Roof Cover	Asphalt Shingle
Heated Sq Ft	840	Flooring Type	Hardwood
Interior Walls	Drywall	Heating Type	Cool / Heated Air
Exterior Walls	Stucco	Rooms/Bedrooms/Bathrooms	2 / 1 / 1.0
Year Built	2010	Number Fire Pl	0

Building Use	Single Family	Stories	1
Style	Ranch	Roof Cover	Asphalt Shingle
Heated Sq Ft	2302	Flooring Type	Pine / Plywood
Interior Walls	Lath Plaster	Heating Type	Cool / Heated Air
Exterior Walls	Stucco	Rooms/Bedrooms/Bathrooms	8 / 3 / 2.0
Year Built	1920	Number Fire Pl	2

Sale/Transfer Information

Date	Deed Book and Page	Price	Deed Type	Grantor	Grantee
9/11/2018	3940 299	\$0	AFFIDAVIT		
7/2/2018	3911 11	\$377,000		GEORGE STEPHEN M	MEACHAM JAMES M
6/29/2007	2261 128	\$362,000		COWLES JEFFREY	GEORGE STEPHEN M
5/31/2005	1685 80	\$235,000		GUY JOE N	COWLES JEFFREY
5/1/2001	796 228	\$174,000			

2021 Notice of Assessment

[2021 Notice of Assessment \(PDF\)](#)

View/Pay Tax Bills

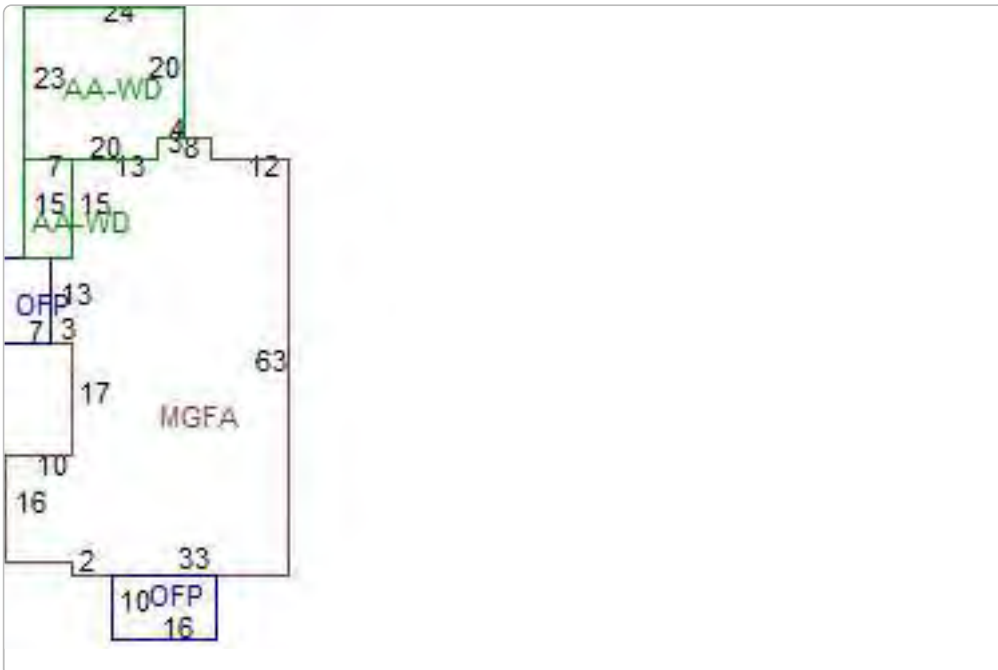
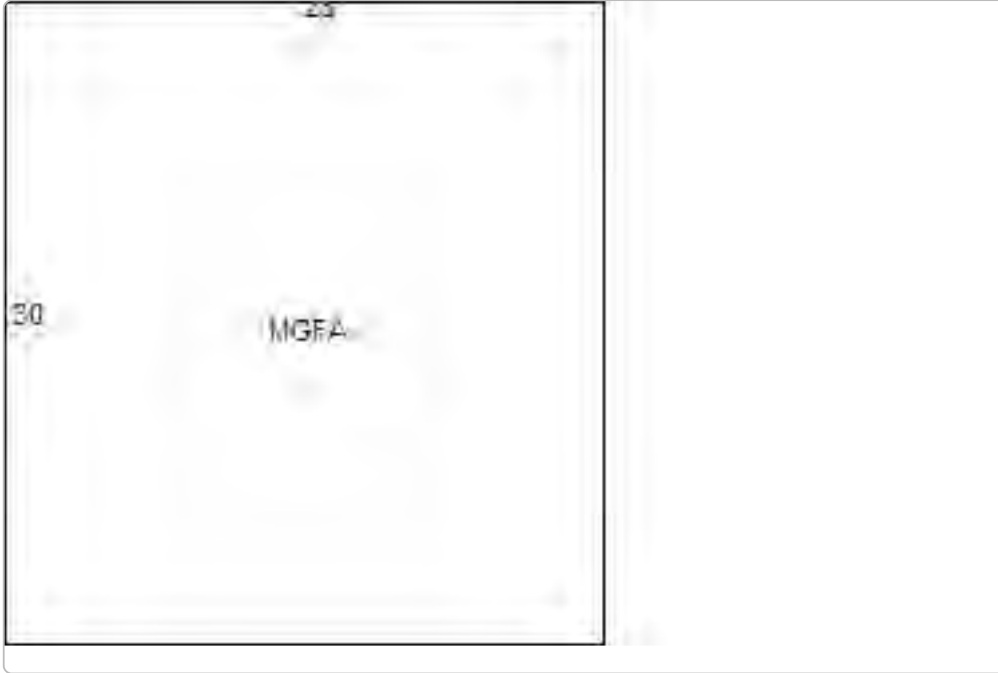
[View/Pay Tax Bills](#)

Photos

To print an image, click to view then right-click and open in new tab.



Sketches



Legend

AA-LN - Attached Addition Landing

DA-F2 - Dwelling Addition 2nd story

- AA-PC - Attached Addition Patio Closed
- AA-PO - Attached Addition Patio Open
- AA-UR - Attached Addition Utility Room
- AA-WD - Attached Addition Wood Deck
- AA-WD2 - Attached Addition Wood Deck 2nd Story
- AA-WD3 - Attached Addition Wood Deck 3rd Story
- AA-WD4 - Attached Addition Wood Deck 4th Story
- AG-F - Attached Garage Frame
- AG-B - Attached Garage Brick
- CA-C - Commercial Addition Canopy
- CA-F - Commercial Addition Frame
- CA-M - Commercial Addition Masonry
- CA-S - Commercial Addition Steel
- CD - Canopy & Dock
- CRPT - Carport
- DA-F Dwelling Addition Frame
- DA-F3 - Dwelling Addition 3rd Story
- DA-M - Dwelling Addition Masonry
- DOCK - Dock
- EFP - Enclosed Frame Porch
- EMP - Enclosed Masonry Porch
- MGFA - Main Ground Floor Addition
- MGFA2 - Main Ground Floor Addition 2nd Story
- MHGFA - Manufactured Home Ground Floor Addition
- OFP - Open Frame Porch
- OFP2 - Open Frame Porch 2nd Story
- OFP3 - Open Frame Porch 3rd Story
- OFP4 - Open Frame Porch 4th Story
- OFP5 - Open Frame Porch Screened
- OMP - Open Masonry Porch
- OMP2 - Open Masonry Porch 2nd Story

Recent Sales In Area

Sale date range:

From:

07/13/2011

To:

07/13/2021

Sales by Neighborhood

Sales by Subdivision

1500

Feet

Sales by Distance

No data available for the following modules: Summary (MH), Owner (MH), Value Information (MH), Improvement Information (MH), Improvement Information (Manufactured), Miscellaneous Improvement Information, Misc. Improvement Information (MH), Planned Development.

Glynn County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.
[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: 7/10/2021, 4:26:49 AM

Version 2.3.130

Brunswick Historic Preservation Board
Application for Certificate of Appropriateness

NOTE: Incomplete applications may incur approval delays. Applications involving demolition or relocation plans shall be accompanied by post-demolition or relocation plans for the site.

Applicant Information:

Name: Louis Keame for Mike & Sharon George Daytime Phone: 912-399-2153
 Address: 912 Ellis St. Evening Phone: "
 City: BRUNSWICK GA Zip: 31520 Cell Phone: "

Project Information:

Property Address: 917 Edmont St. Brunswick GA. 31520
 Proposed Start Date: April 15 2008 Proposed Completion Date: 5 MOS. (Sept 15 2008)

Applications for Certificate of Appropriateness, along with **all required support materials**, must be submitted to the City Building Inspector's office, 2nd floor, City Hall, 700 Gloucester Street, fifteen (15) calendar days prior to the first Monday of each month. The Brunswick Historic Preservation Board meets to consider all applications submitted by the deadline on the first Monday of each month, 6:00 PM, 3rd floor, City Hall, 700 Gloucester Street. A sub-committee of the BHPB meets on the Monday two weeks prior to the scheduled first Monday meeting to evaluate all applications. This meeting is held at the Brunswick History Museum, 1327 Union Street at 6:00 PM. **All applicants are encouraged to attend both of these regularly scheduled meetings to respond to questions by the BHPB regarding the application. Not attending could result in a delay of certificate approval.** (See Schedule for dates)

Please check the following: New Build: Yes No Applied for Building Permit: Yes No
 Repair Only: Yes No Changes to exterior: Yes No Restoration: Yes No

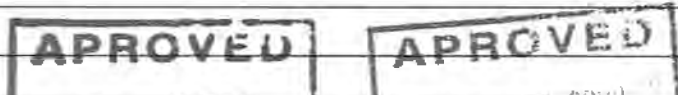
Brief Description of Work: tear down metal shed garage. In-place build garage (new) per drawings.

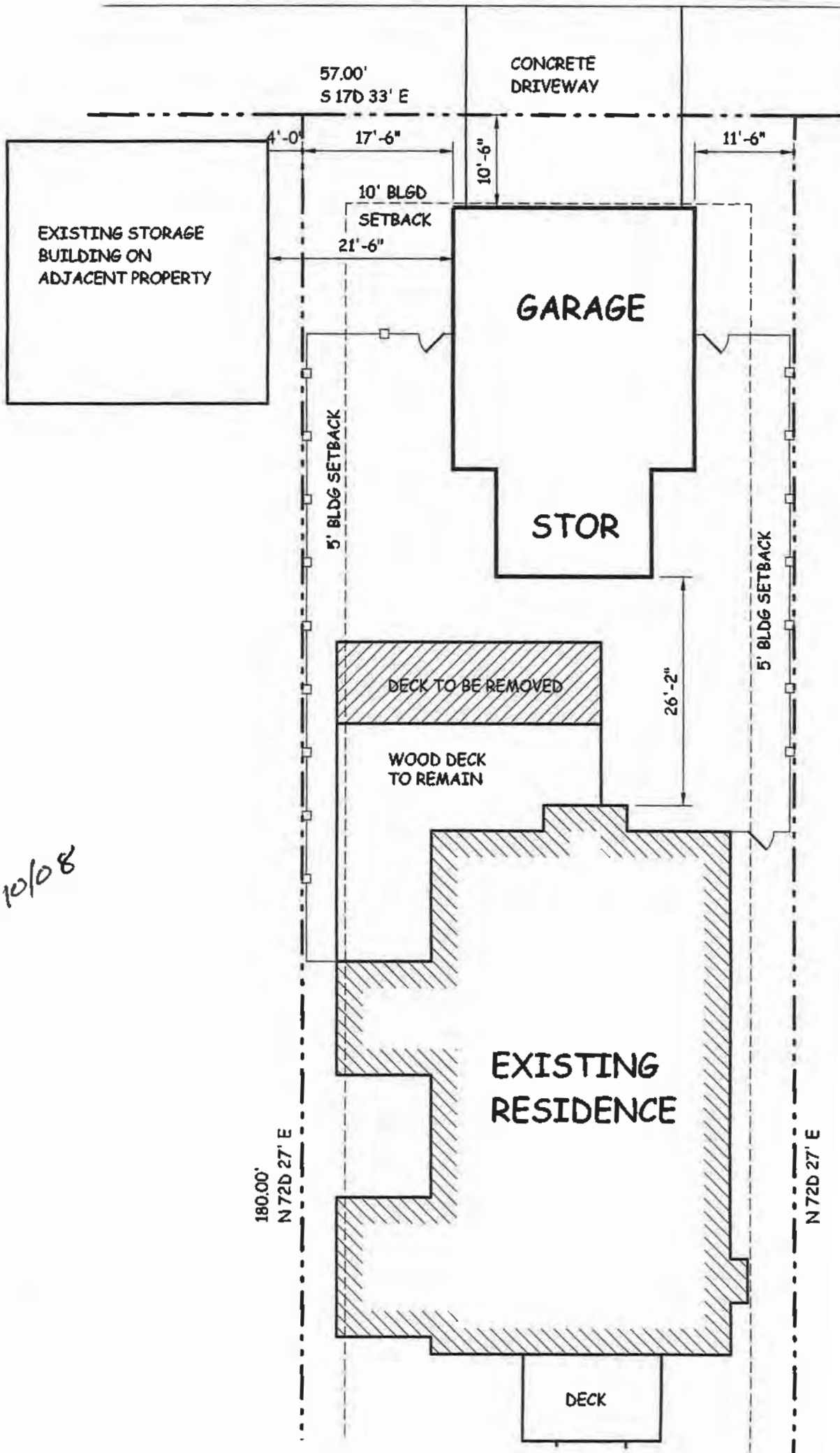
Name of Contractor: Kelly Nelson Phone: 309-222-3751
 Signature of Property Owner: [Signature] for Mike George Date: Mar 20 2008
 Signature of Contractor/Representative: _____ Date: _____

Support Material: Received by/ date: M.H. 3/20/08 Workshop date: 3/24/08

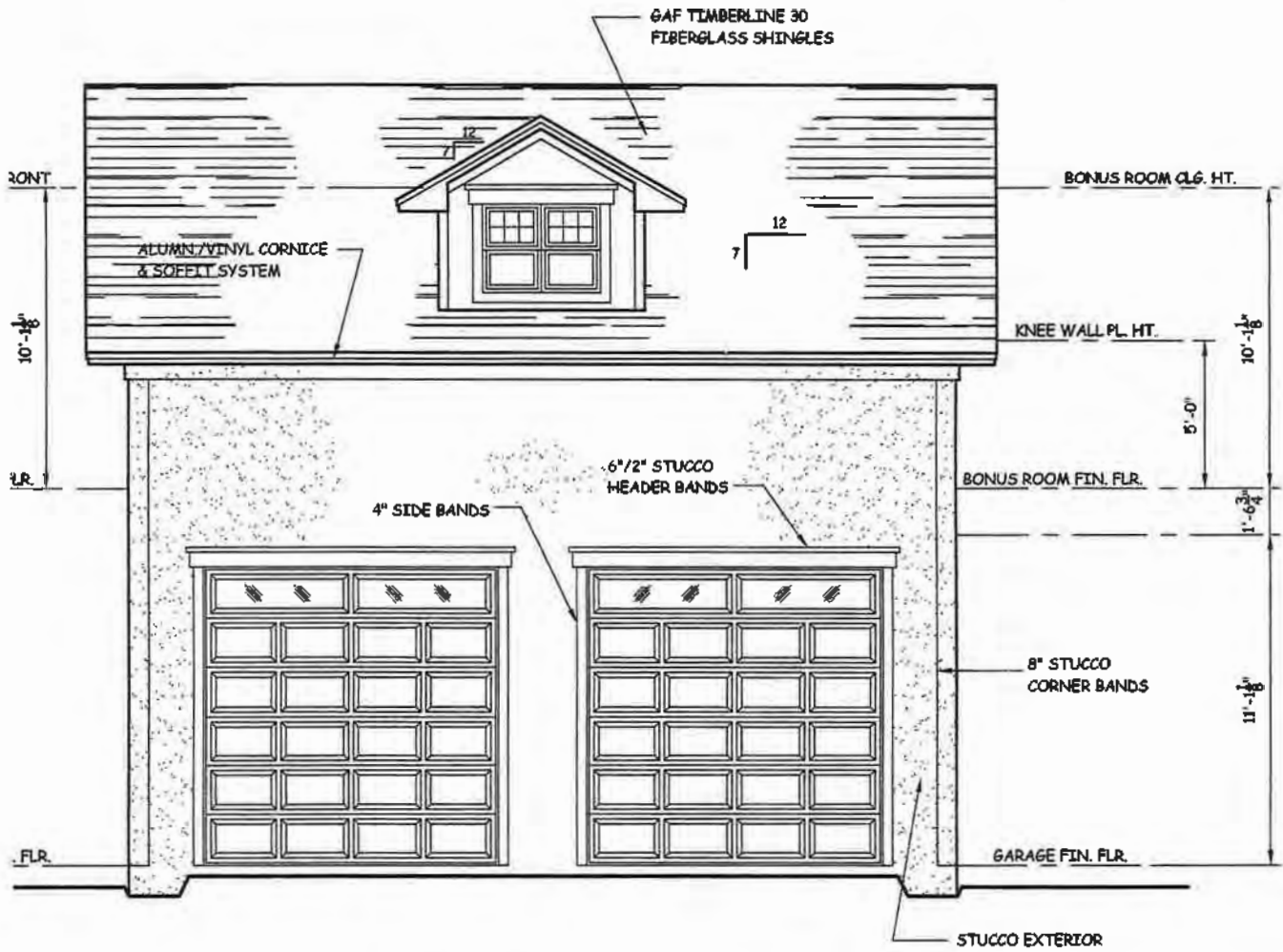
- Site plan showing lot lines, street names, setbacks, building location, etc. Show all trees and state types of trees over 10" in diameter that are proposed for removal.
- Prepared plans showing the scope of work and specifications of design and improvements. The information that is most crucial is anything that affects the exterior appearance.
- Before photographs of the building or site and include photos of adjacent and /or nearby property to establish context.
- Elevation drawings of the proposed work, including notes and details pertaining to specific materials.
- Material samples if appropriate.

Conditions of Approval: _____





Revised 10/08

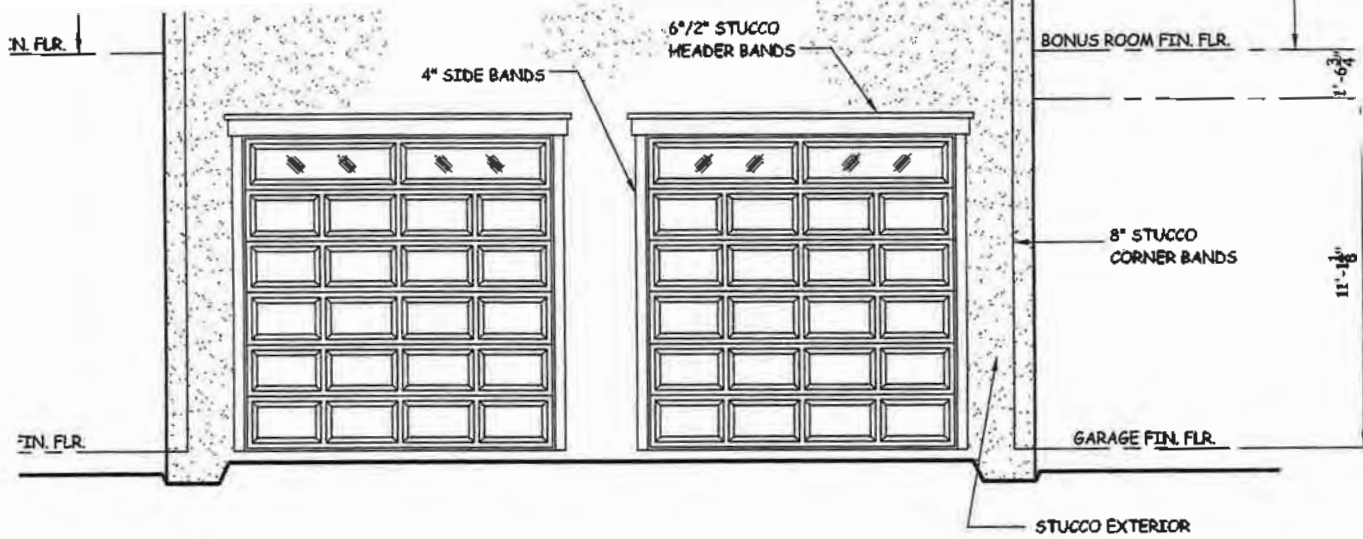


FRONT ELEVATION *Rev. 10/08*

SCALE: 1/4" = 1'-0"

NOTE: 7'-0" WINDOW HEADER HT.

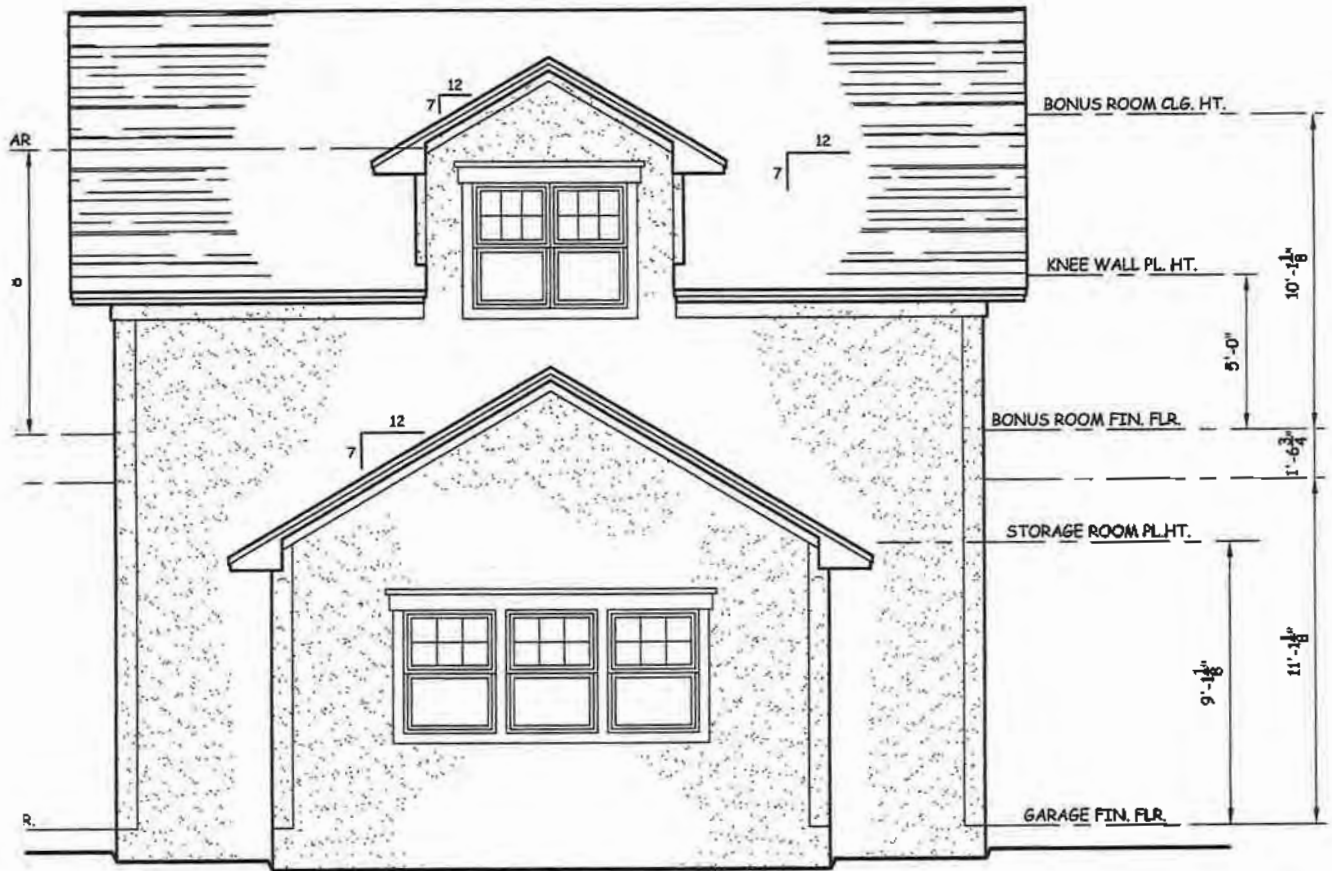




FRONT ELEVATION

SCALE: 1/4" = 1'-0"

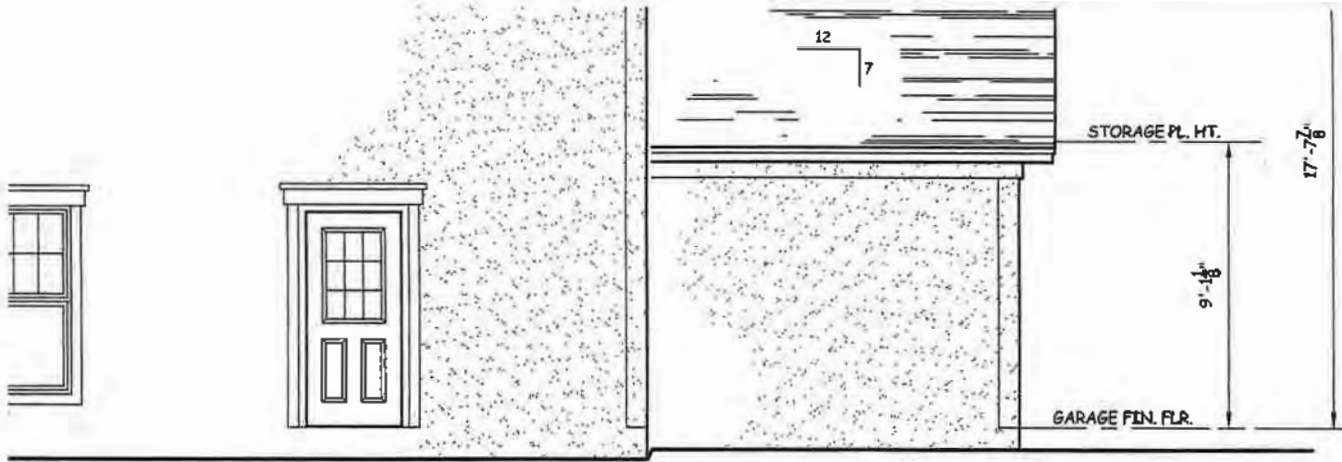
NOTE: 7'-0" WINDOW HEADER HT.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

Rev. 10/08



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION *Rev. 10/05*

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION *Rev. 10/08*
 SCALE: $1/4" = 1' - 0"$



BRUNSWICK HISTORIC PRESERVATION BOARD
WORKSHOP WORK-SHEET

I. Concern: No Concerns

Resolution:

II. Concern:

Resolution:

III. Concern:

Resolution:

The information contained on this document will become part of the COA application.

Date: 3/24/08 Workshop Team: Mia & Donny

Applicant: Louis Keene

Address: 917 Egmont St.

Georgia Historic Resources
Historic Preservation Division,
Georgia Department of Natural Resources.

Resource ID	201069												
County	Glynn												
Item 1. Resource Name													
Item 3. Resource Address/Location	917 Egmont Street Brunswick 31521												
Item 4. Owner's Name and Address													
Item 5. Classification	Building												
Item 7. Current Use	<u>Domestic/residential-Single dwelling</u>												
Item 7. Original Use	<u>Domestic/residential-Single dwelling</u>												
Item 8. Date of Construction (or estimate)	c1915 – 1919												
Item 9. Major Changes	<table border="0"> <tr> <td>Altered:</td> <td><u>Description</u></td> <td><u>Date</u></td> </tr> <tr> <td>Additions:</td> <td><u>Description</u></td> <td><u>Date</u></td> </tr> <tr> <td>Moved:</td> <td><u>Description</u></td> <td><u>Date</u></td> </tr> <tr> <td>Destroyed:</td> <td><u>Description:</u></td> <td><u>Date:</u></td> </tr> </table>	Altered:	<u>Description</u>	<u>Date</u>	Additions:	<u>Description</u>	<u>Date</u>	Moved:	<u>Description</u>	<u>Date</u>	Destroyed:	<u>Description:</u>	<u>Date:</u>
Altered:	<u>Description</u>	<u>Date</u>											
Additions:	<u>Description</u>	<u>Date</u>											
Moved:	<u>Description</u>	<u>Date</u>											
Destroyed:	<u>Description:</u>	<u>Date:</u>											
Item 10. Architect/engineer/designer	Unknown												
Item 11. Contractor/builder/craftsman	Unknown												
Item 12. Style	Prairie Style												
Item 13. Building Type	House types-Bungalow												
Item 14. Original Floor Plan	Two unequal rooms [More than two rooms]												
Item 15. Plan Shape	Rectangular												
Item 16. Number Of Stories	One												
Item 17. Facade Symmetry	Asymmetric												
Item 17. Front Door(s)	One door												
Item 18. Roof Type	Hip												
Item 18. Roof Material	Composition shingle/asphalt shingle												
Item 19. Chimney placement and Material	Three or more chimneys [Stuccoed masonry]												

Item 20. Type Of Construction	Brick bearing
Item 21. Exterior material(s)	Stucco
Item 22. Foundation material (s)	Brick
Item 23. Porches	Portico [Front] [1 story] [Partial] [Brick] [Hip]
Item 24. Windows	Casement [Flat-headed] [Rectangular] Double-hung sash [Flat-headed] [See additional physical description] [Rectangular]
Item 25. Additional physical description	Nice Prairie style bungalow. Features a low pitched hip roof with widely overhanging boxed eaves and a small hip roof dormer in facade. Partial width, low pitched hip portico in facade with thick stuccoed masonry columns and walls - concrete coping. Fixed leaded, glass monitor windows flank the chimney in the living room. Triple windows in facade - all are 6/1 windows with unequal rectangular lights in upper sash. Multiple light casement windows in northeast corner - recessed porch. Partial width hip wing (sunroom) on south side - features banks of multi-light casement windows. Good integrity. Field #384
Item 26. Pictures	201069_1.JPG (113k) 201069_2.JPG (111k) 201069_3.JPG (105k)
Item 27. Description of outbuildings (if any)	
Item 29. Description of Landscape Features	Yard setting-Informal/picturesque Yard setting-Terracing/contouring/retaining walls Streetscape-Street trees/landscaping Concrete coping around perimeter of lot.
Item 30. Count	Number of Buildings: 1 Number of Structures: 0 Number of Outbuildings: 0 Number of Sites: 0 Number of Landscape features: 0
Item 31. Description of the environment	Town-Residential [Old resources]
Item 32. Archeological Potential	
Item 33. History	Appears to have been built between 1913 and 1920 (non-extant on 1913 Sanborn Map, extant on 1920 Sanborn Map).
Item 34. Historical theme(s)	Architecture
Item 34. Distinctive aspects of GA's history	
Item 35. Significance	Architecture-Architectural type-Common [Good example/illustration]

	Architecture-Architectural style-Common		
Item 36. Sources of Information			
Item 37. Prepared By	Robert A. Ciucevich Quatrefoil Consulting 22 W. Bryan Street #139 Savannah GA 31401		
Item 38. Date Of Survey	<u>Survey</u>	<u>Resurvey</u>	
	2004 - 2005		
Item 39. Government preservation activity			
Item 40. National Register Eligibility	Appears to meet Nat. Reg. criteria		
Item 41. USGS quadrangle name	Brunswick E		
Item 41. UTM Reference and XY Coordinates	<u>Zone</u>	<u>Easting</u>	<u>Northing</u>
	17	453357	3445503
	<u>X Coordinate</u>	<u>Y Coordinate</u>	
	-81.489306958956	31.144212312074	
Item 42. Tax map number			
Item 43. Recognition and Date	<u>Recognition</u>	<u>Date</u>	
	National Register [District]	1978	
Item 43. State Agency			
Item 43. Condition	<u>Condition</u>	<u>Due To</u>	<u>Threatened By</u>
	Good		

- **TIP:** To print this report select Print from the browser 'File' menu.
- These results are based on survey data in the database at the time of the search. Not all areas of the state have been surveyed, and not all surveyed areas have been surveyed to current standards. Unsurveyed resources meeting the parameters of your search/query may exist in surveyed and unsurveyed areas.
- This is a product of Georgia's Natural, Archaeological, and Historic Resources GIS developed by The Carl Vinson Institute of Government, ITOS Division at The University of Georgia. The University of Georgia expressly disclaims responsibility for damages or liability that may arise from the use of this report.

APPLICATION TO:
PRESERVATION BOARD OF BRUNSWICK

**CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE**

917 EGMONT STREET BRUNSWICK, GA



DRAWINGS

A001	COVER SHEET
A002	SURVEY
A003	SITE PLAN
A100	GROUND FLOOR PLAN
A101	MAIN FLOOR PLAN
A200	WEST ELEVATION
A201	EAST ELEVATION
A202	NORTH ELEVATION
A203	SOUTH ELEVATION
A300	PERSPECTIVES
A301	PERSPECTIVES

Drawn By: .
Date: Mar. 20, 08
Job #: 000213
Checked: .
Scale: As Noted
File: Garage

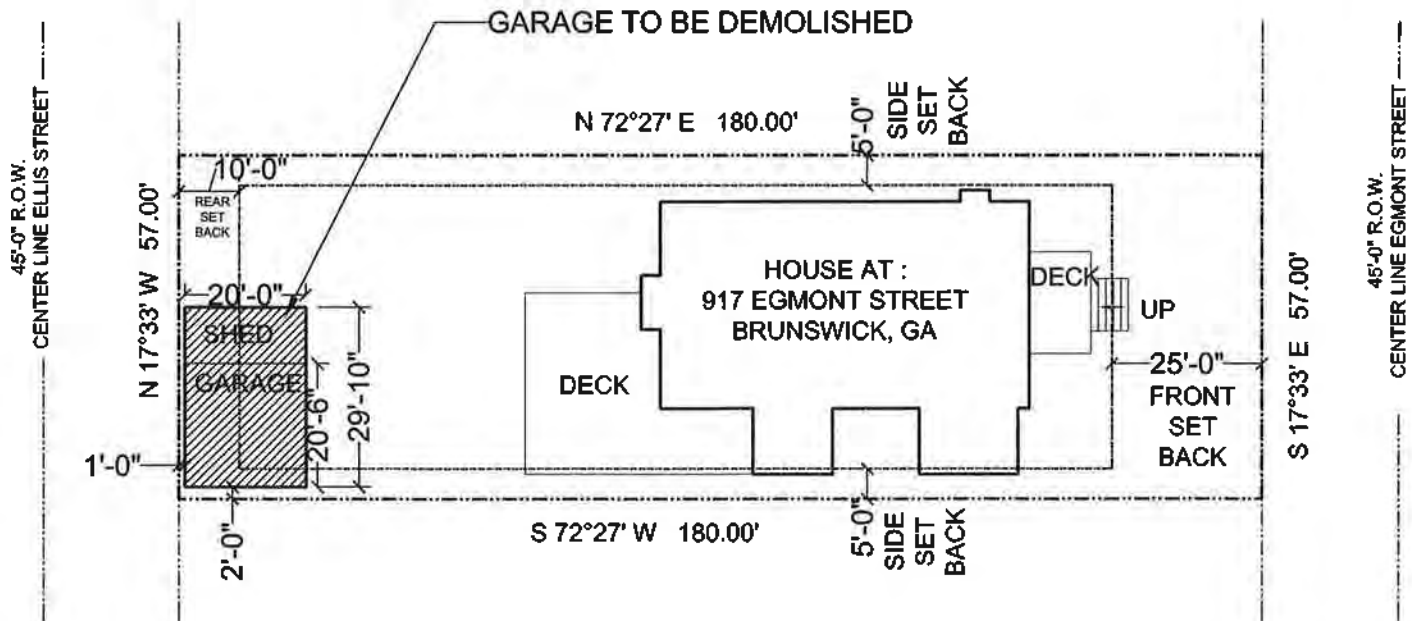
LKA LOUIS KEENE
& ASSOCIATES
ARCHITECTS

812 ELLIS STREET BRUNSWICK, GA 31520
PHONE: 912.399.2153 keene@louis.com

**CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE**
917 EGMONT STREET BRUNSWICK, GA

SHEET

A001



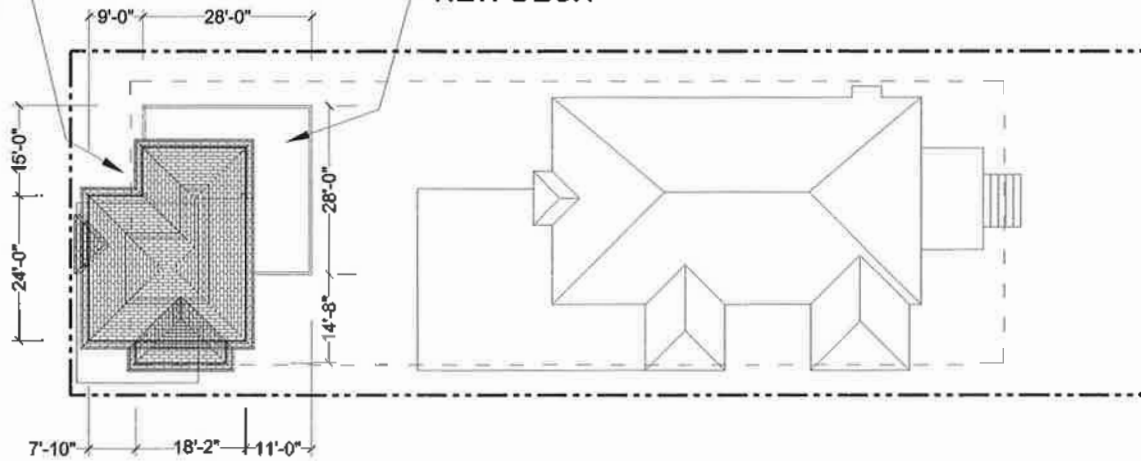
Drawn By :
Date : Mar. 20, 08
Job # : 080213
Checked :
Scale : As Noted
File Name : GARAGE

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& ASSOCIATES
ARCHITECTS
812 ELLIS STREET BRUNSWICK, GA 31520
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**CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA**

SHEET
A002

NEW
CARRIAGE
HOUSE
GARAGE



SITE PLAN

1/32" = 1'-0"

Drawn By :
Date : Mar. 20, 08
Job # : 080213
Checked :
Scale : As Noted
File Name: GARAGE

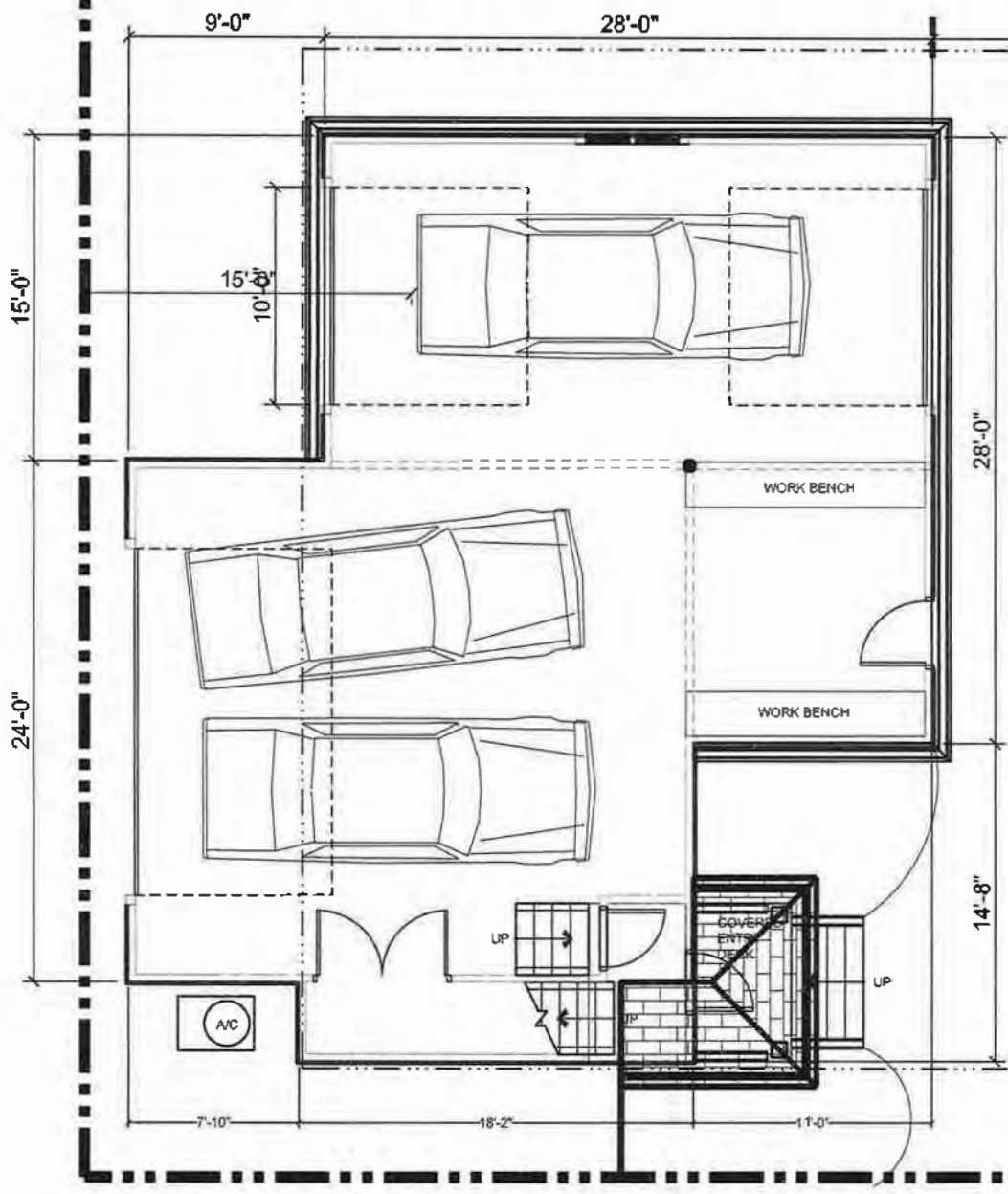
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& ASSOCIATES
ARCHITECTS

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CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA

SHEET

A003





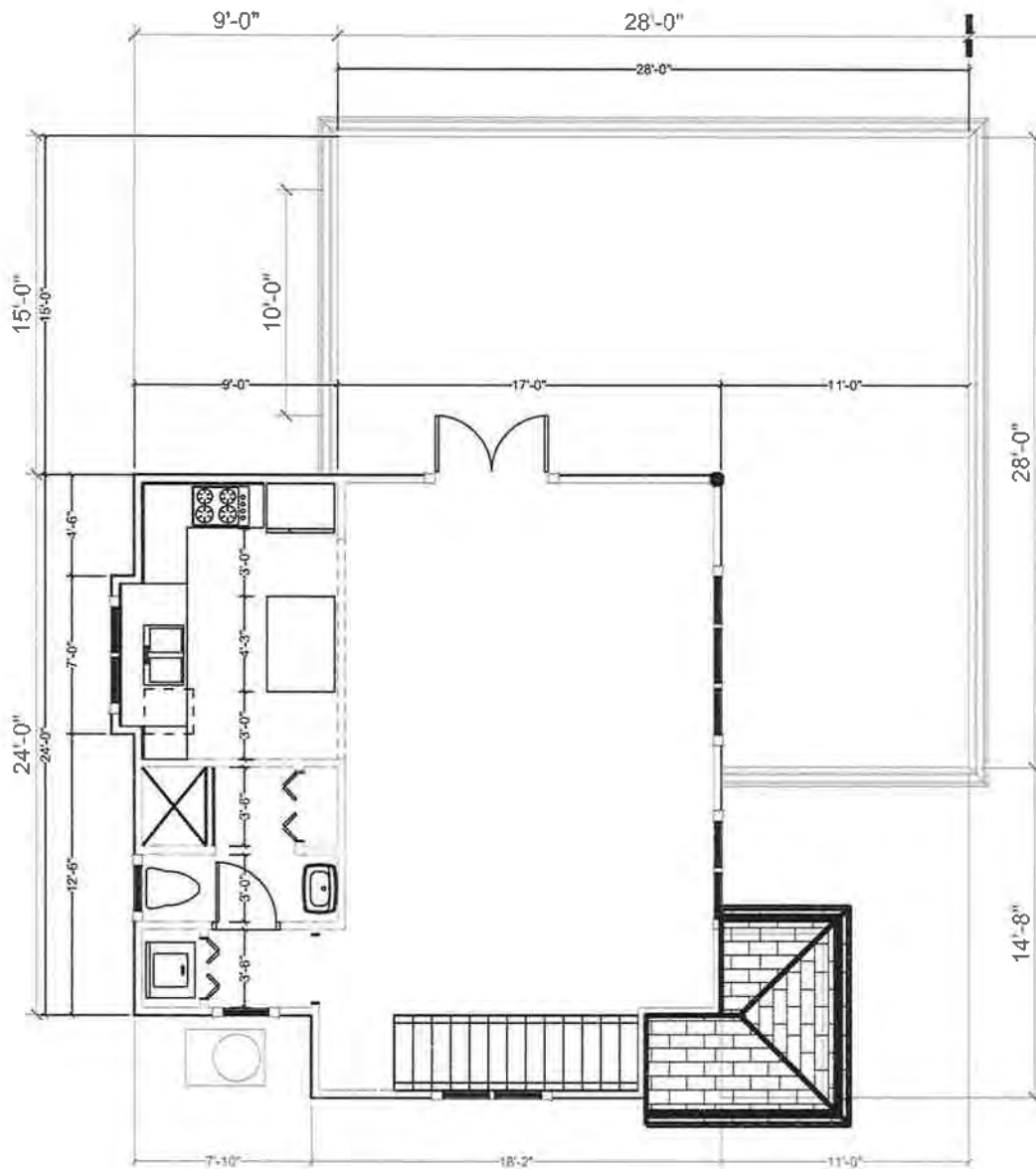
PLAN GROUND FLOOR
 1/8" = 1'-0"

Drawn By: _____
 Date: Mar. 19. 08
 Job #: 080213
 Checked: _____
 Scale: As Noted
 Filed: _____

LKA LOUIS KEENE & ASSOCIATES ARCHITECTS
 812 ELLIS STREET BRUNSWICK, GA 31520
 PHONE: 912.399.2153 keenelouis@lycos.com

CARRIAGE HOUSE GARAGE FOR MIKE AND SHARON GEORGE
 XXX EGMONT STREET BRUNSWICK, GA

SHEET
A100



PLAN - MAIN FLOOR

1/8" = 1'-0"

Drawn By :
Date : Mar. 19, 08
Job # : 080213
Checked :
Scale : As Noted
File: Garage



LOUIS KEENE
& ASSOCIATES
ARCHITECTS

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CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA

SHEET

A101



1 WEST ELEVATION
3/16" = 1'-0"

Drawn By: -
Date: Mar. 19, 08
Job #: 080213
Checked: -
Scale: As Noted
GEORGE GARAGE

LKA LOUIS KEENE
& ASSOCIATES
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CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA

SHEET

A200

917



1 EAST ELEVATION
3/16" = 1'-0"

Drawn By :
Date : Mar. 19, 08
Job # : 080213
Checked :
Scale : As Noted
File Name : GARAGE

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& ASSOCIATES
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CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA

SHEET

A201



Drawn By: -
 Date: Mar. 19, 08
 Job #: 080213
 Checked: -
 Scale: As Noted
 Filed: GARAGE

LKA LOUIS KEENE
 & ASSOCIATES
 ARCHITECTS

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 PHONE: 912.399.2153 keene@louisarch.com

**CARRIAGE HOUSE GARAGE FOR
 MIKE AND SHARON GEORGE**
 XXX EGMONT STREET BRUNSWICK, GA

SHEET

A202



Drawn By: _____
 Date: Mar. 19, 08
 Job #: 080213
 Checked: _____
 Scale: As Noted
 Filed: 11/10/08

LKA LOUIS KEENE
 & ASSOCIATES
 ARCHITECTS
 812 ELLIS STREET BRUNSWICK, GA 31520
 PHONE: 912.399.2153 koenelouis@lycoe.com

**CARRIAGE HOUSE GARAGE FOR
 MIKE AND SHARON GEORGE**
 XXX EGMONT STREET BRUNSWICK, GA

SHEET

A203



1 PI FRONT
N.T.S.

Drawn By :
Date : Mar. 19, 06
Job # : 060213
Checked :
Scale : As Noted
Files: GARAGE

LKA LOUIS KEENE
& ASSOCIATES
ARCHITECTS

812 ELLIS STREET BRUNSWICK, GA 31520
PHONE: 912.399.2153 keene@louis@lycoa.com

CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE
XXX EGMONT STREET BRUNSWICK, GA

SHEET

A300



P2 PERSP FROM EXIST HOUSE

N.T.S.

Drawn By : -
Date : Mar. 19, 08
Job # : 090213
Checked : -
Scale : As Noted
File: 090213 GARAGE

LKA LOUIS KEENE
& ASSOCIATES
ARCHITECTS

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PHONE: 912 399 2153 keenetolouis@lyoos.com

CARRIAGE HOUSE GARAGE FOR
MIKE AND SHARON GEORGE

XXX EGMONT STREET BRUNSWICK, GA

SHEET

A301

925 Ellis St



Image capture: Jan 2019 © 2021 Google

Brunswick, Georgia



Street View

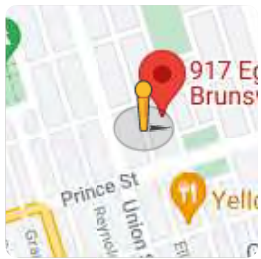


EXHIBIT I

**Old Town Historic District
Boundaries are:
H / G Street to the North;
Martin Luther King Jr Blvd
to the East;
First Avenue to the South;
East River to the West**

