



**CITY OF BRUNSWICK, GEORGIA**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**  
**& MATERIAL CHANGES TO EXTERIOR FEATURES**  
 Brunswick Historic Preservation Board

**COA**

1. Name of Applicant: Kelly Hnatt Date: 12/13/21

**You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.**

Mailing Address: 18 Cromley Court, Saint Simons Island Zip Code: 31522  
 Daytime Telephone: 646-369-6030  
 E-mail Address: Hnattk@gmail.com

Relationship of Applicant to Property:  Owner ( ) Architect ( ) Contractor  
 ( ) Other (Specify) \_\_\_\_\_

2. Address and Legal Description of Property: 803 G Street, Parcel # 01-02151

Year Built: 1878 Historic Designation:  Historic (more than 50 years old and contributing)  
 Era: Folk Victorian ( ) Historic-obscured (50 years old but not contributing)  
 ( ) Non-historic (less than 50 years old, yet not detracting)  
 ( ) Intrusions (any aged structure, which detracts)  
 ( ) Vacant

3. Proposed Work:

<input type="checkbox"/> New Construction	<input type="checkbox"/> New Signage
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Parking Lot, Driveway or Walkway
<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Outbuilding or Accessory Structure
<input type="checkbox"/> Excavation	<input type="checkbox"/> Lighting Fixtures
<input checked="" type="checkbox"/> Fencing or landscaping	<input type="checkbox"/> Other
<input checked="" type="checkbox"/> Reconstruction or alteration of the size, shape or façade of an existing structure.	
<input type="checkbox"/> A change in the location or extent of signage.	

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

SEE ATTACHED

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**IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.**



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 & MATERIAL CHANGES TO EXTERIOR FEATURES**  
**Brunswick Historic Preservation Board**

**C<sub>2</sub>**

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

**SIGNATURE OF APPLICANT:**

*Kelly M. Holt*

Staff Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**CITY OF BRUNSWICK  
 CERTIFICATE OF APPROPRIATENESS  
 Brunswick Historic Preservation Board**

A Certificate of Appropriateness is hereby issued to: \_\_\_\_\_

For the following actions: \_\_\_\_\_

\_\_\_\_\_

at \_\_\_\_\_

provided the following conditions are met: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**SIGNATURE:**

\_\_\_\_\_  
 Chairperson, Historic Preservation Board

**DATE:** \_\_\_\_\_

This application is to request (A) construction of a new garage and (B) minor exterior modifications.

Background: This property, at the corner of G and Ellis, across from the old courthouse, was acquired by me in July 2021 with the intention to return this Folk Victorian, built in 1878, to a single family home for me, my husband, and our dogs. The house had been used most recently (for the past 15 years) as the Redeemer Presbyterian Church. The interior modifications we are undertaking are generally minor, consisting of adding a kitchen and new master bath, reworking a hallway space into a master closet, turning a public foyer and restrooms into a guest bedroom with a full bath, and enlarging the partially finished second floor into a larger second floor with bath. There will be little disturbance to existing structure or remaining historical elements such as the fireplaces, windows and most of the door openings.

The proposed garage addition and exterior modifications for HPB approval are described below.

- A. The new single car garage would be constructed on the east side of the existing home with a slab on grade. It will also have a finished space above, as shown in the plans. It is anticipated that the second floor space will be used as overflow for guests and as my office. Its massing and details have been drawn to be compatible with the existing two-story home and white house next door (which I also own). It has been pushed back from the street sufficient to allow a car to park in the driveway without blocking the sidewalk.

The garage will primarily be accessed from the rear of the house, through a door that will replace an existing window, and staircase that matches existing exterior stairs and rails. There will be a small covered walkway, with roof and bracket materials that will match the existing details on the home. There will be a gate as shown, and fence on the rear (east) side of the garage. There will also be a fence with gate on the north side of the house. The fence material will be wood picket, 40" tall, to be painted to match the railing material.

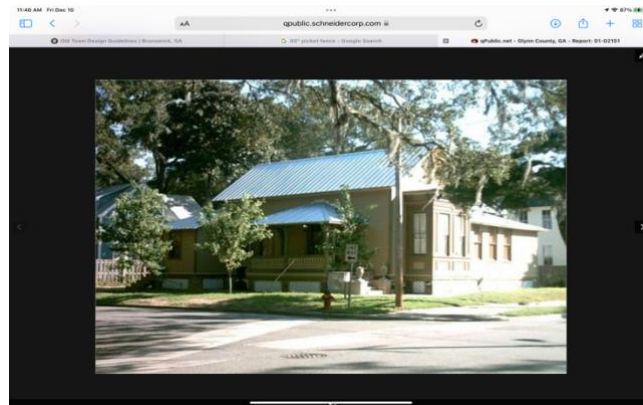


The windows on the garage have been drawn to match those generally existing on the house and to meet egress requirements. The design of the garage door breaks up the front façade and give the feel of a carriage house. The roof will also match existing. The siding will most likely be a composite material, so long as the width of the siding can approximately match that which currently exists on the house. If not, it will be wood. It will be painted to match the home, in the same three-piece paint scheme that will be used on the rest of the home (likely a gray/charcoal gray/cream combination).

The garage will be conditioned using a “mini split” system. The unit will be located on the north side of the fence so that it cannot be seen from the street. There also will be a smaller covered patio on the north side of the garage, with a metal shed roof, as shown on the drawings.

B. Exterior modifications to existing home:

1. As noted, a staircase will exit towards the garage, and the current window opening on the south side of the room denoted “office” will be replaced with an exterior door as shown on the drawings. It will have 6 or 9-lites over two panels to fit with the existing multi-light windows in that room. (Note that the existing exterior doors of the house are not uniform.)
2. The stairs will be removed from the porch on the south side of the house to create a balcony for safety and privacy, as the adjacent room is going to become a bedroom. It should be noted that this porch was an addition to the house in 2017.



3. An egress window is being added to the second floor, east elevation, as shown in the drawings and photo above. Note that the existing window is not original. It was likely a louvered vent before the second floor was partially finished in 2003-2005. What appears to be stained glass is actually acrylic.

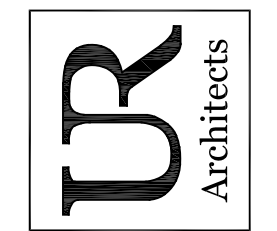
4. The staircase on the northwest side of the house will be removed for safety and privacy, so that there is only a single staircase to the house from the north existing driveway. Again, this staircase was not an original feature of the home.





SHEET INDEX	
AS1	ARCHITECTURAL SITE PLAN
D1	DEMOLITION PLANS
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN, FOUNDATION & ROOF PLAN
A3	GARAGE ELEVATIONS
A4	BUILDING SECTIONS & DETAILS
A5	WALL SECTIONS & DETAILS
A6	FIRST & SECOND FLOOR ELECTRICAL PLANS

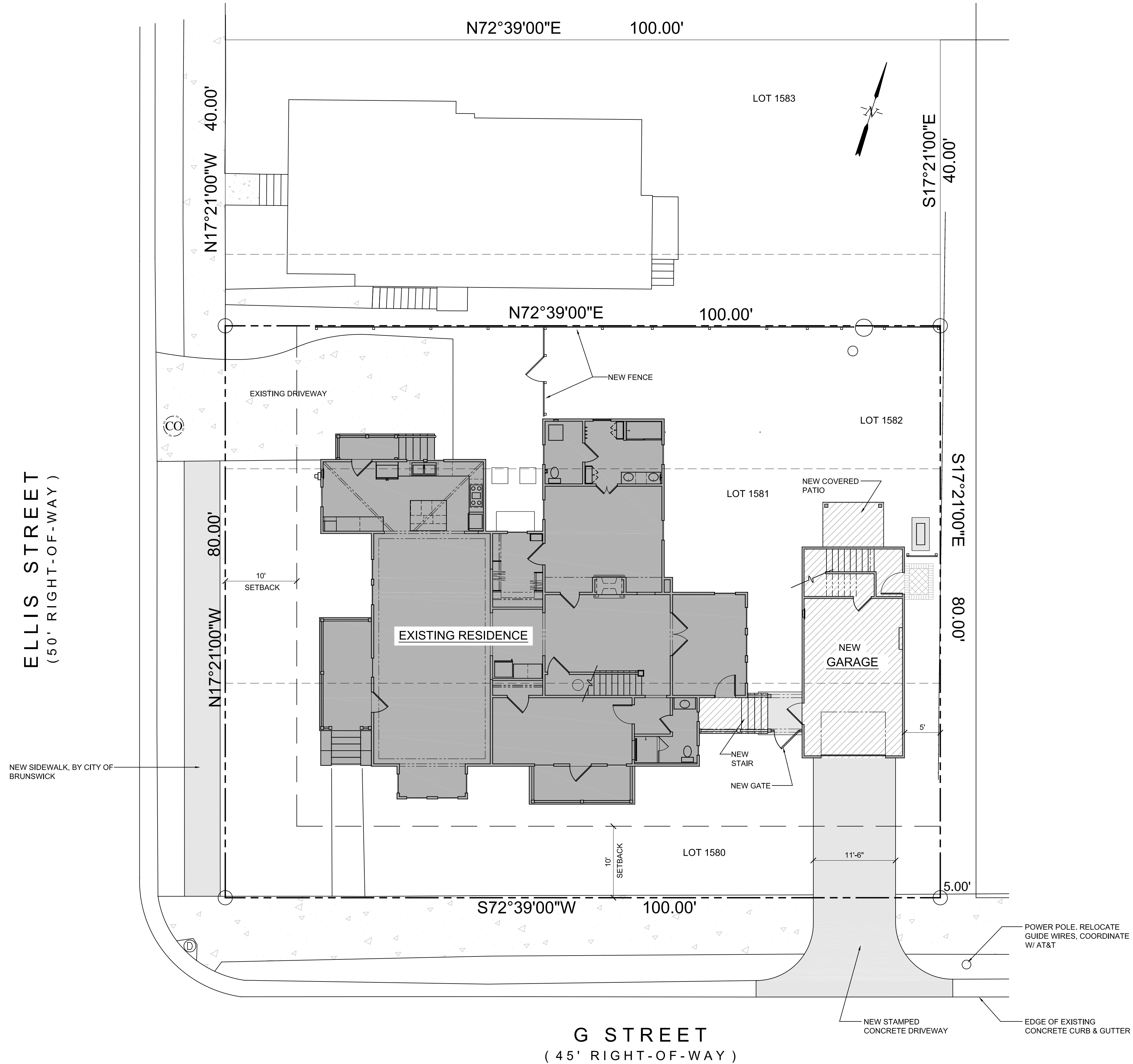
**USSERY/RULE ARCHITECTS P.C.**  
 1804-A FREDERICA ROAD  
 ST. SIMONS ISLAND, GEORGIA 31522  
 PH. 912-638-6688  
[www.urarch.com](http://www.urarch.com)



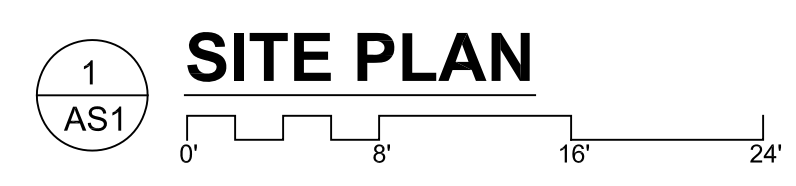
**HNATT RESIDENCE**  
 803 G STREET  
 BRUNSWICK, GEORGIA

2108  
 12-16-21

**AS1**



NOTE:  
 1. SURVEY INFORMATION TAKEN FROM A SURVEY BY JACKSON SURVEYING, INC. DATED 5-14-2021, JOB# B0838 5-00-21 J3105

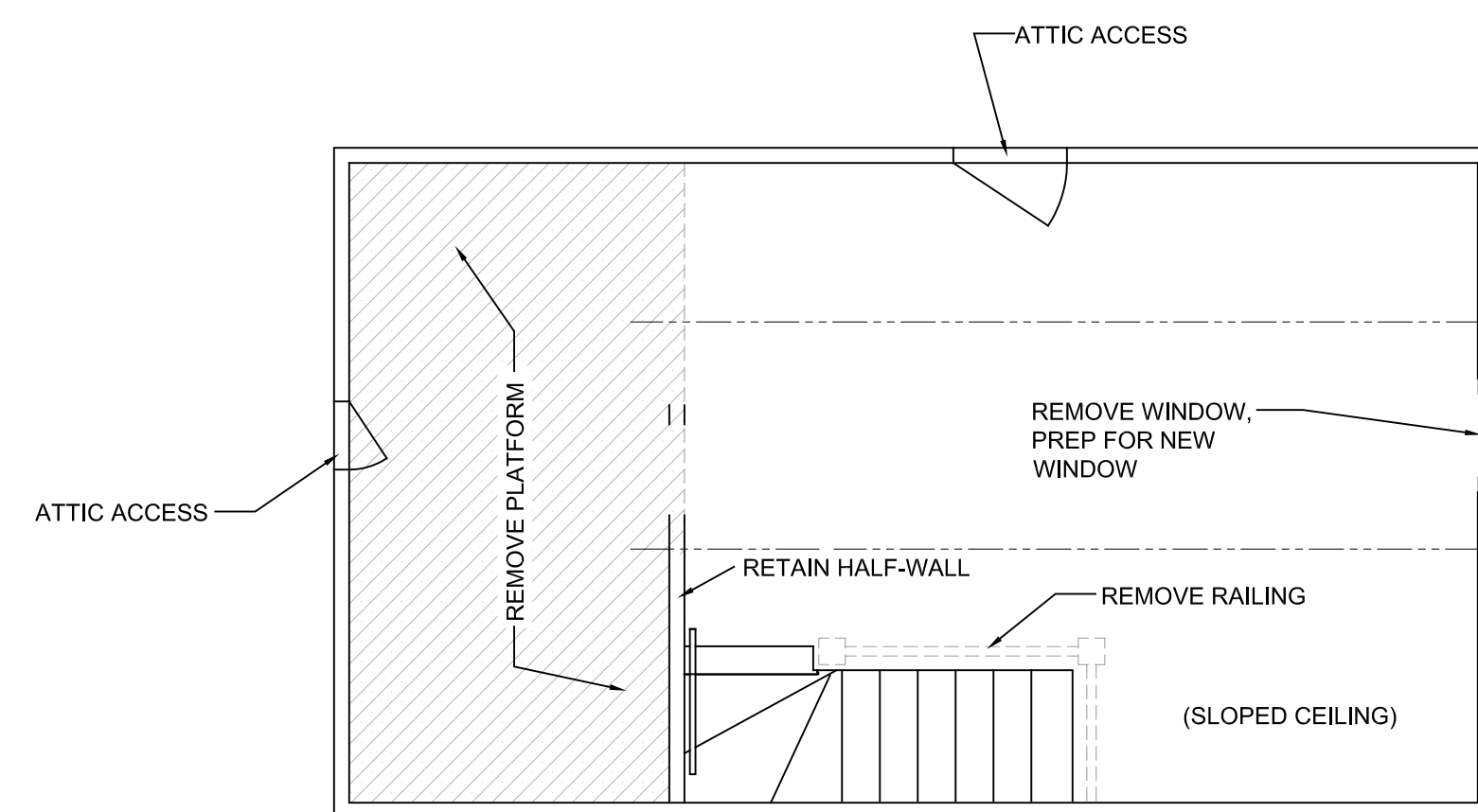


1  
 AS1 **SITE PLAN**

DEMOLITION KEY NOTES	
1	REMOVE EXISTING WALL, PROVIDE TEMPORARY SHORING AS NEEDED
2	REMOVE EXISTING DOOR, PREP FOR NEW DOOR AS NEEDED
3	REMOVE EXISTING WINDOW, PREP FOR NEW WINDOW AS NEEDED
4	REMOVE EXISTING BUILT-IN CASEWORK
5	REMOVE EXISTING ELECTRICAL / MECHANICAL EQUIPMENT
6	REMOVE AND RETAIN EXISTING DOOR
7	REMOVE EXISTING PLUMBING FIXTURE, CAP & OR REMOVE PIPING AS NEEDED
8	REMOVE BATHROOM ACCESSORY
9	REMOVE WOOD PLANK WALL / CEILING FINISH AS NEEDED
10	REMOVE CONCRETE HEARTH, PREP FOR NEW STONE AS NEEDED
11	REMOVE DOOR, REINSTALL WITH REVERSE SWING, PREP DOOR FRAME AS NEEDED

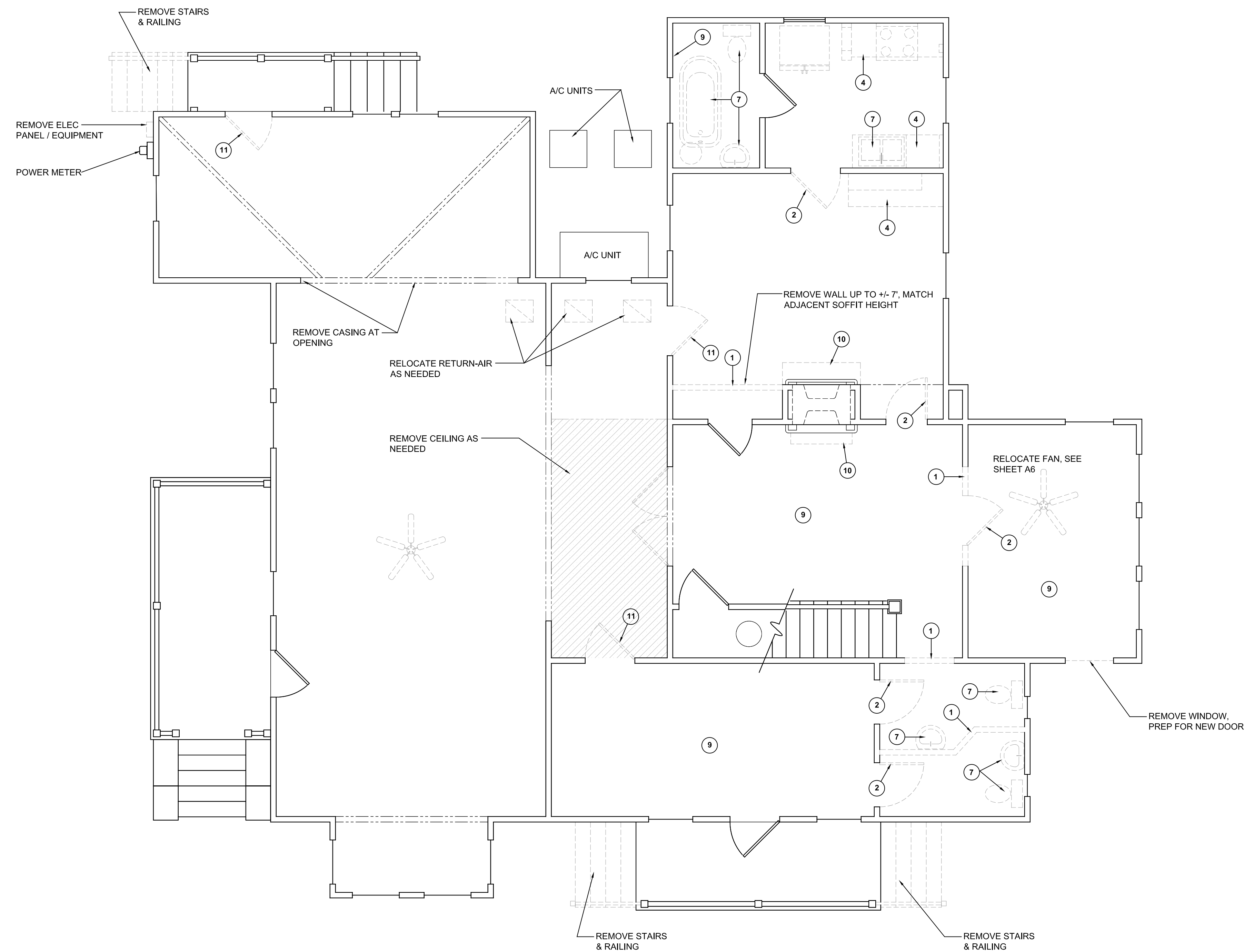
**DEMOLITION NOTES**

- ALL BUILDING COMPONENTS AND FINISHES TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE
- WITHIN AREAS SCHEDULED FOR DEMOLITION, THE OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR SUCH ITEMS AS, DOORS, LIGHT FIXTURES, MECHANICAL EQUIPMENT OR ANY COMPONENT BEFORE DEMOLITION
- RETAIN ALL INTERIOR DOORS, VERIFY STORAGE WITH OWNER
- VERIFY ALL FLOOR FINISHES TO BE REMOVED WITH OWNER
- REMOVE ALL TRIM WITH MEDALLIONS, VERIFY WITH OWNER



**2**  
D1  
**2nd FLOOR DEMOLITION PLAN**

0' 4' 8' 12'



**1**  
D1  
**1st FLOOR DEMOLITION PLAN**

0' 4' 8' 12'

LEGEND:

--- DEMOLITION

== EXISTING FRAME WALL



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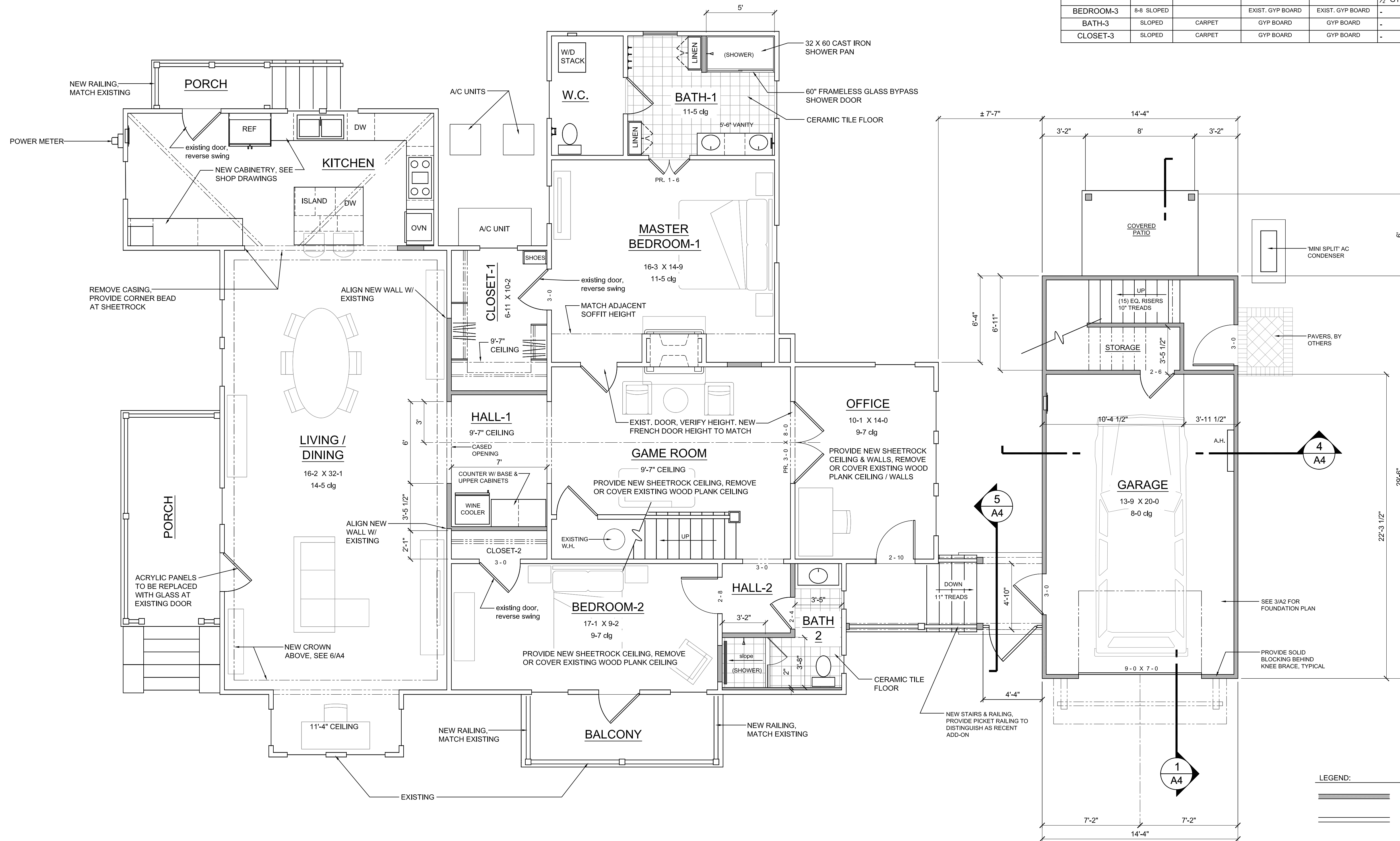
12-16-21

**D1**



- NOTES:**
1. ALL BATHROOMS TO HAVE MOLD & MILDEW RESISTANT GYPBOARD
  2. AT NEW BASE, CASING, WINDOW STOOL, LOCATIONS - MATCH EXISTING DETAILS
  3. ALL TRIM WITH MEDALLIONS TO BE REMOVED & REPLACED WITH TYPICAL TRIM, MATCH EXISTING DETAILS
  4. ALL DOOR HARDWARE TO BE REPLACED, WITH BRONZE KNOB TYPE, VERIFY SPECIFICATIONS WITH OWNER
  5. REFINISH ALL EXISTING WOOD FLOORS, UNLESS NOTED OTHERWISE. WOOD FLOORS SHALL RETAIN THEIR NATURAL HEART PINE COLOR, W/ SATIN FINISH
  6. VERIFY PAINT COLORS WITH OWNER
  7. ANY WOOD FLOORING REMOVED FROM BATH-1 SHALL BE SAVED FOR RE-USE, AS NEEDED

ROOM FINISH SCHEDULE					
ROOM NAME	CEILING HEIGHT	FLOOR	WALLS	CEILING	COMMENTS
KITCHEN	SLOPED	EXIST. WOOD - REFINISHED	EXIST. GYP BOARD	EXIST. GYP BOARD	.
LIVING / DINING	14-5	EXIST. WOOD - REFINISHED	EXIST. GYP BOARD	EXIST. GYP BOARD	NEW CROWN, SEE 2/A2
HALL-1	9-7	EXIST. WOOD - REFINISHED	GYP BOARD	GYP BOARD	.
GAME ROOM	9-7	EXIST. WOOD - REFINISHED	EXIST. GYP BOARD	GYP BOARD	EXISTING WOOD CEILING TO BE REPLACED OR COVERED WITH 1/2" GYPSUM BOARD
OFFICE	9-7	EXIST. WOOD - REFINISHED	GYP BOARD	GYP BOARD	EXISTING WOOD CEILING & WALLS TO BE REPLACED OR COVERED WITH 1/2" GYPSUM BOARD
HALL-2	9-7	REFINISHED WOOD	GYP BOARD	GYP BOARD	EXISTING WOOD FLOOR, NEW LOCATION
BATH-2	9-7	CERAMIC TILE	GYP BOARD	GYP BOARD	.
BEDROOM-2	9-7	EXIST. WOOD - REFINISHED	EXIST. GYP BOARD	GYP BOARD	EXISTING WOOD CEILING TO BE REPLACED OR COVERED WITH 1/2" GYPSUM BOARD
MASTER BEDROOM-1	11-5	EXIST. WOOD - REFINISHED	EXIST. GYP BOARD	EXIST. WOOD	EXISTING WOOD CEILING TO REMAIN
BATH-1	11-5	CERAMIC TILE	EXIST. GYP BOARD	EXIST. WOOD	EXISTING WOOD CEILING TO REMAIN
W.C.	-	EXIST. WOOD - REFINISHED	GYP BOARD	EXISTING	REPLACE EXISTING WALL PANEL WITH 1/2" GYP BOARD
BEDROOM-3	8-8 SLOPED		EXIST. GYP BOARD	EXIST. GYP BOARD	.
BATH-3	SLOPED	CARPET	GYP BOARD	GYP BOARD	.
CLOSET-3	SLOPED	CARPET	GYP BOARD	GYP BOARD	.



**1st FLOOR PLAN**

**LEGEND:**

— NEW WALL

— EXISTING FRAME WALL

**AREA:**

FIRST FLOOR H&C ----- 2,115 s.f.

SECOND FLOOR H&C ----- 376 s.f.

TOTAL H&C ----- 2,491 s.f.

PORCHES: 241 s.f.

1st FLOOR GARAGE: 423 s.f.

2nd FLOOR GARAGE: 423 s.f.



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**A1**





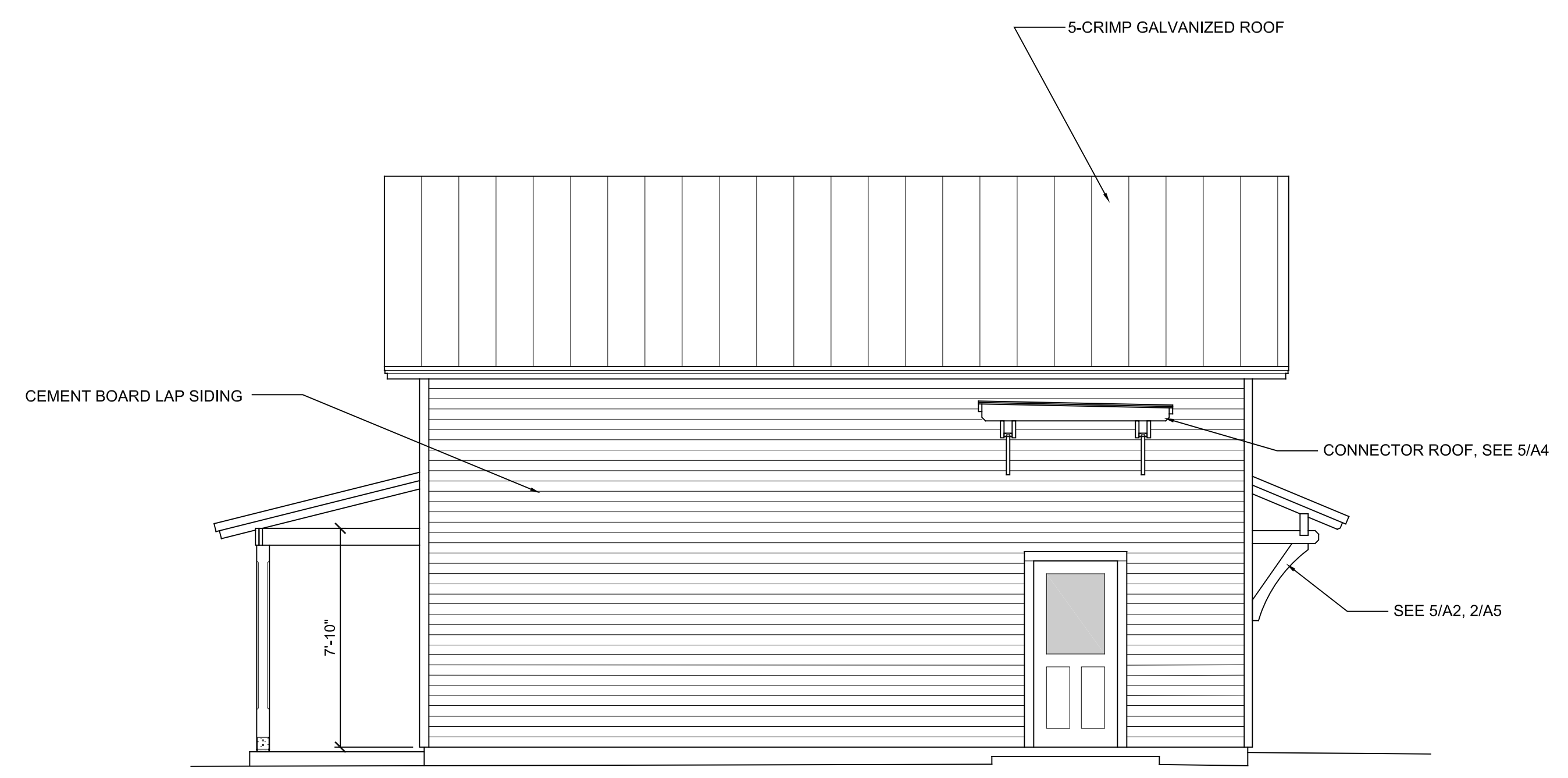
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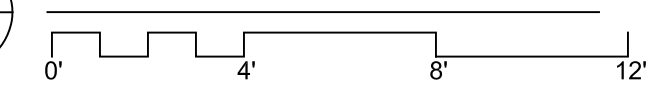
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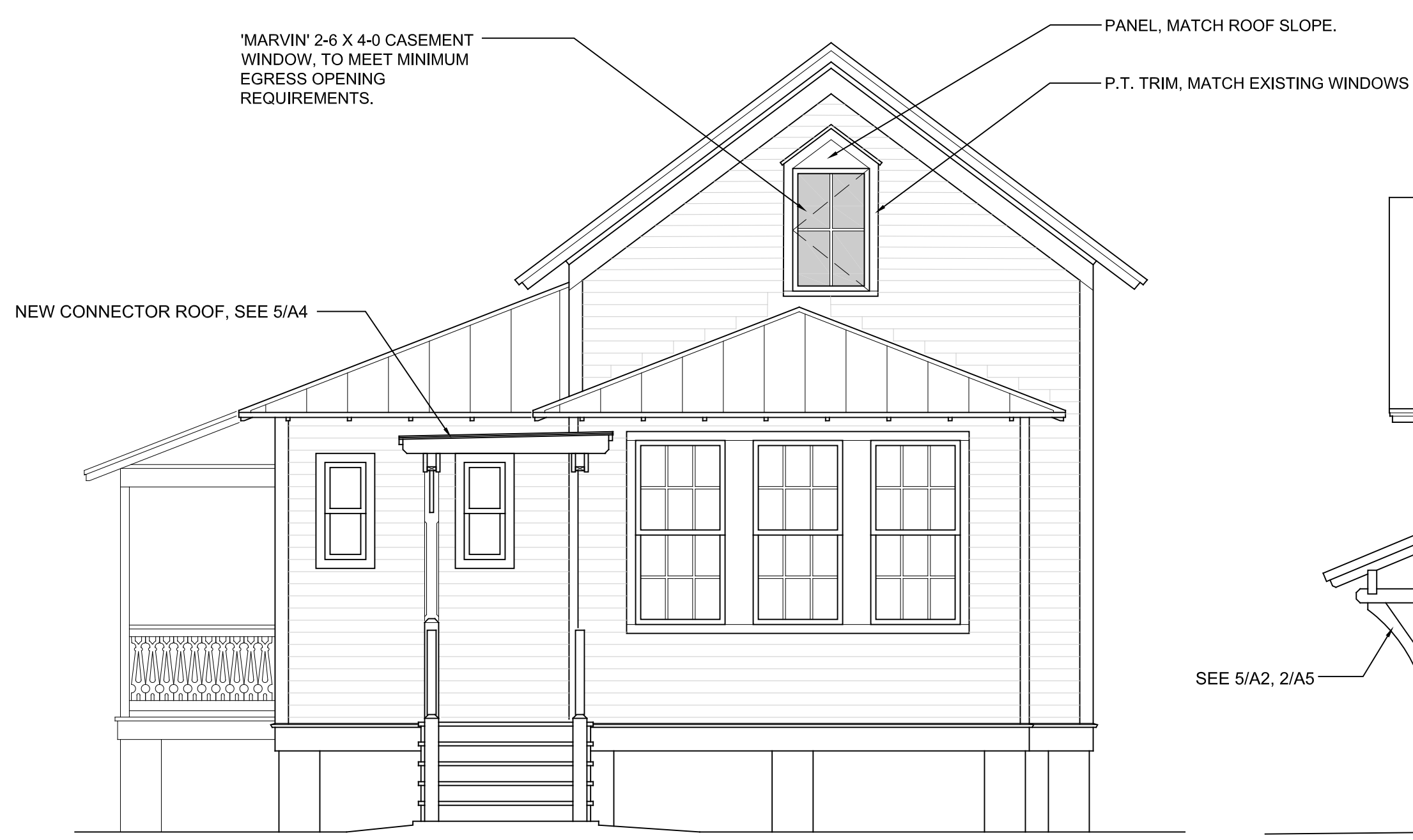
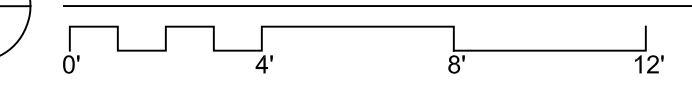
**A3**



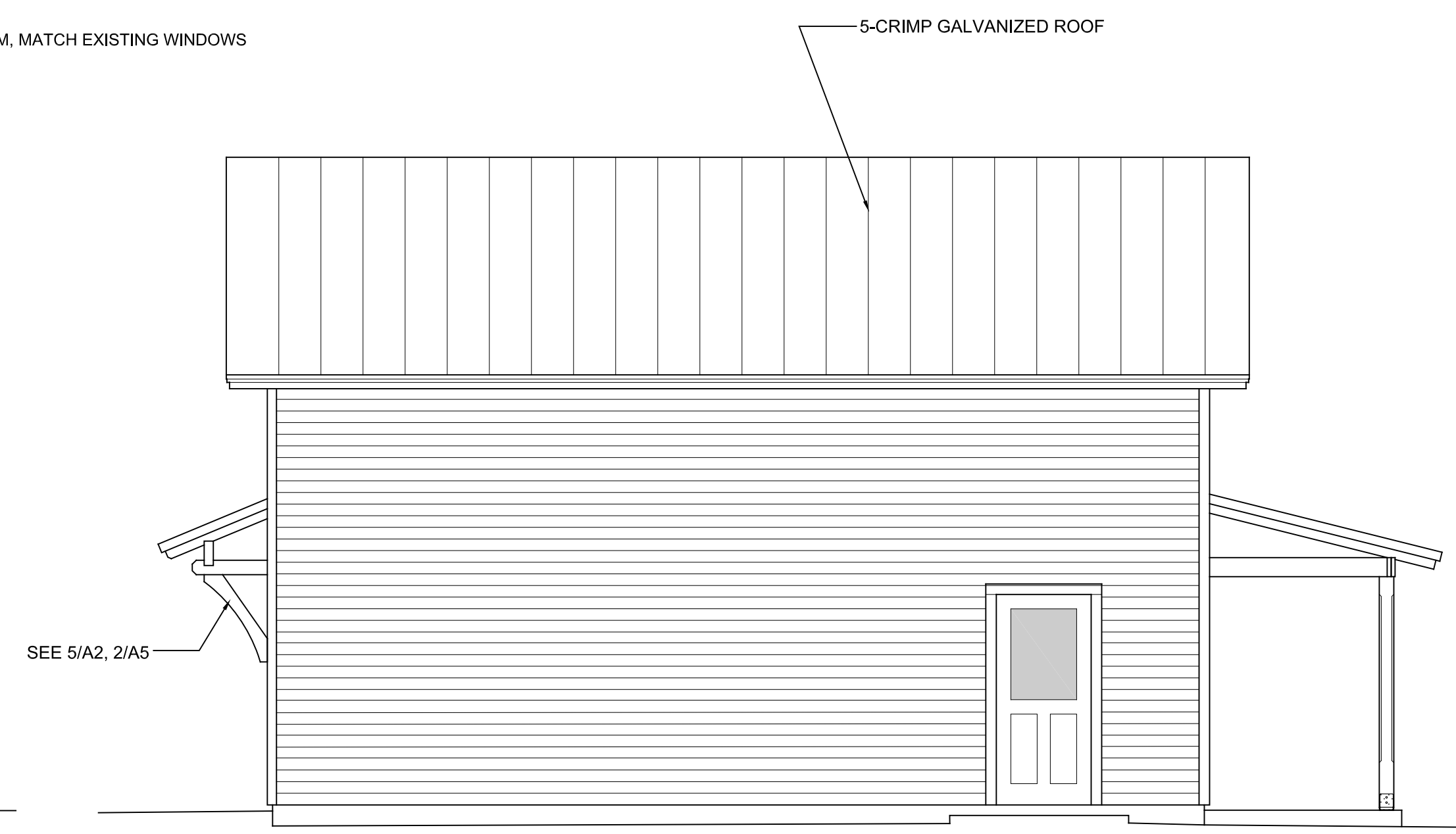
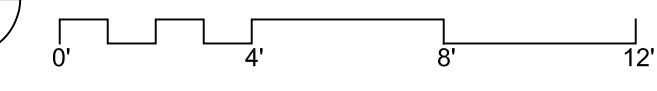
2 SIDE ELEVATION  
A3



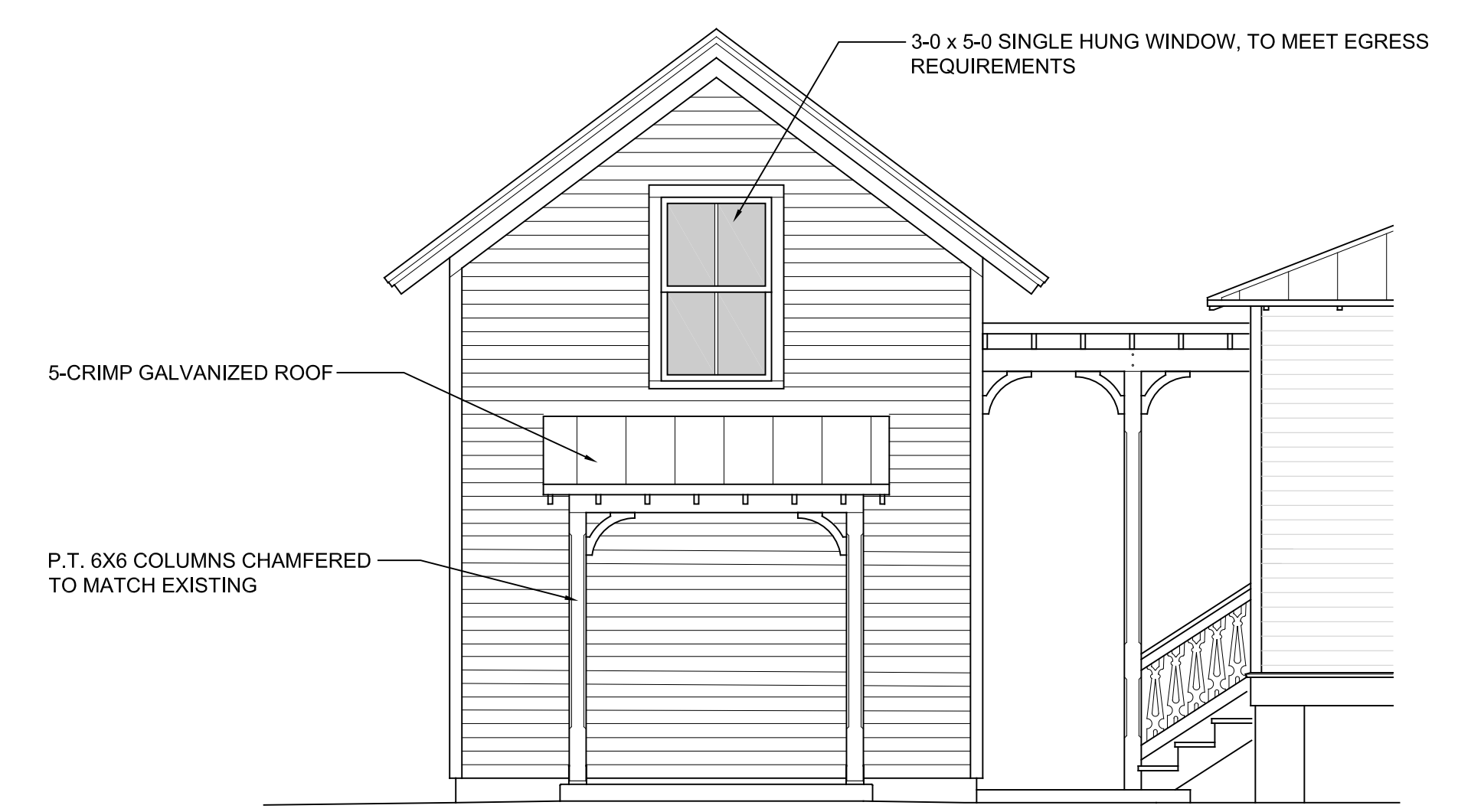
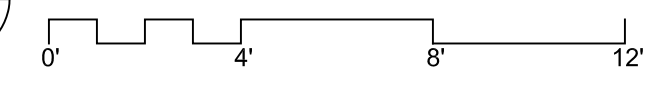
1 G-STREET ELEVATION  
A3



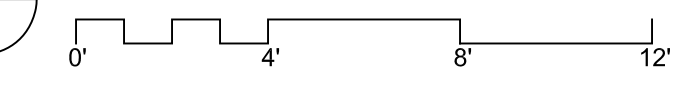
5 SIDE ELEVATION  
A3

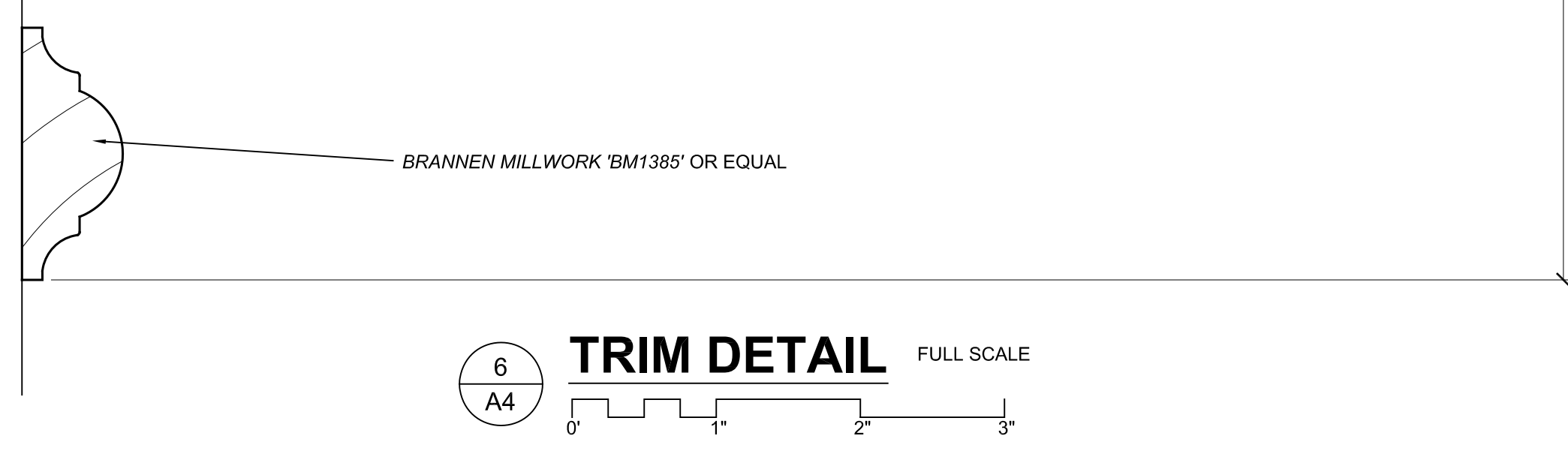
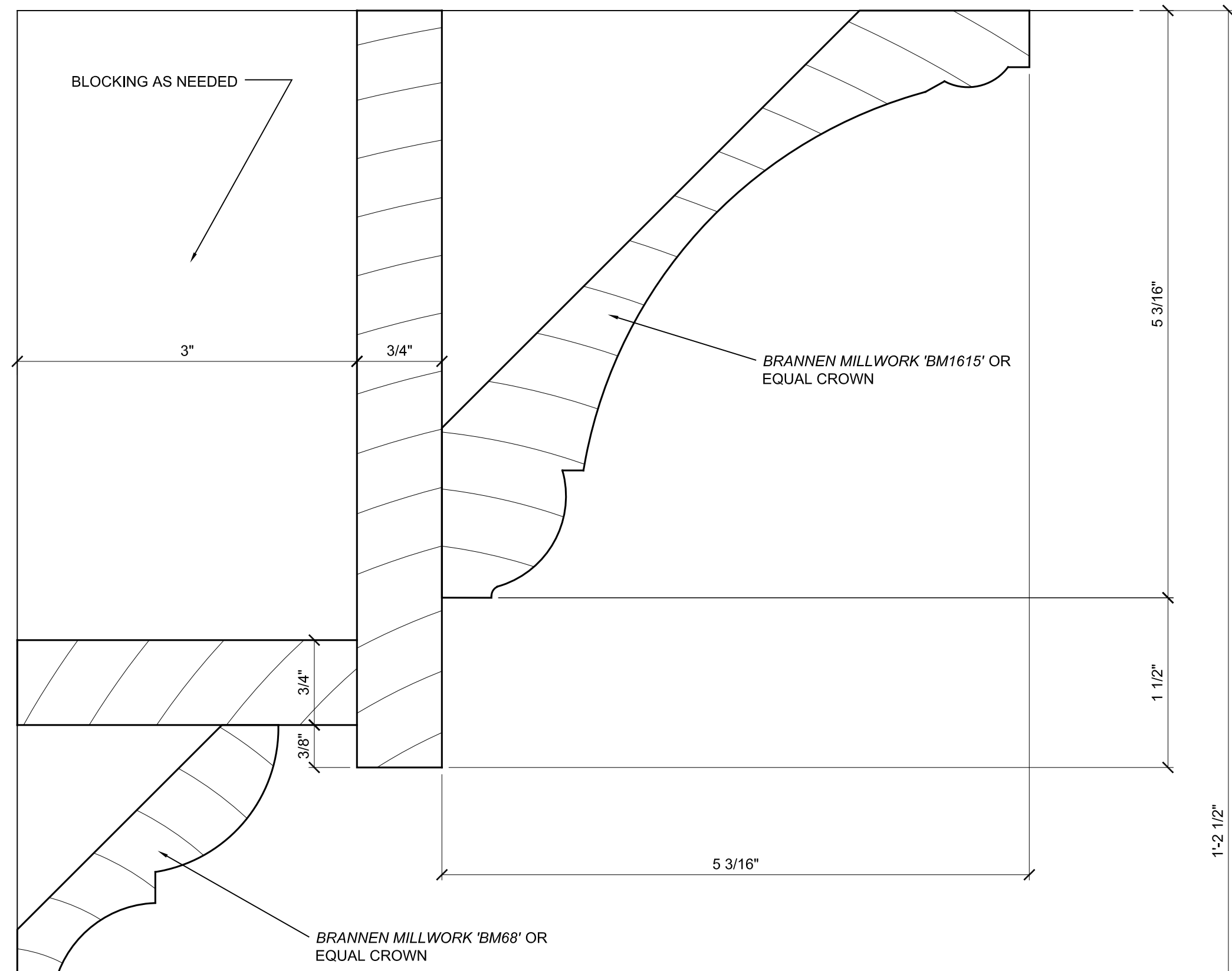


4 SIDE ELEVATION  
A3

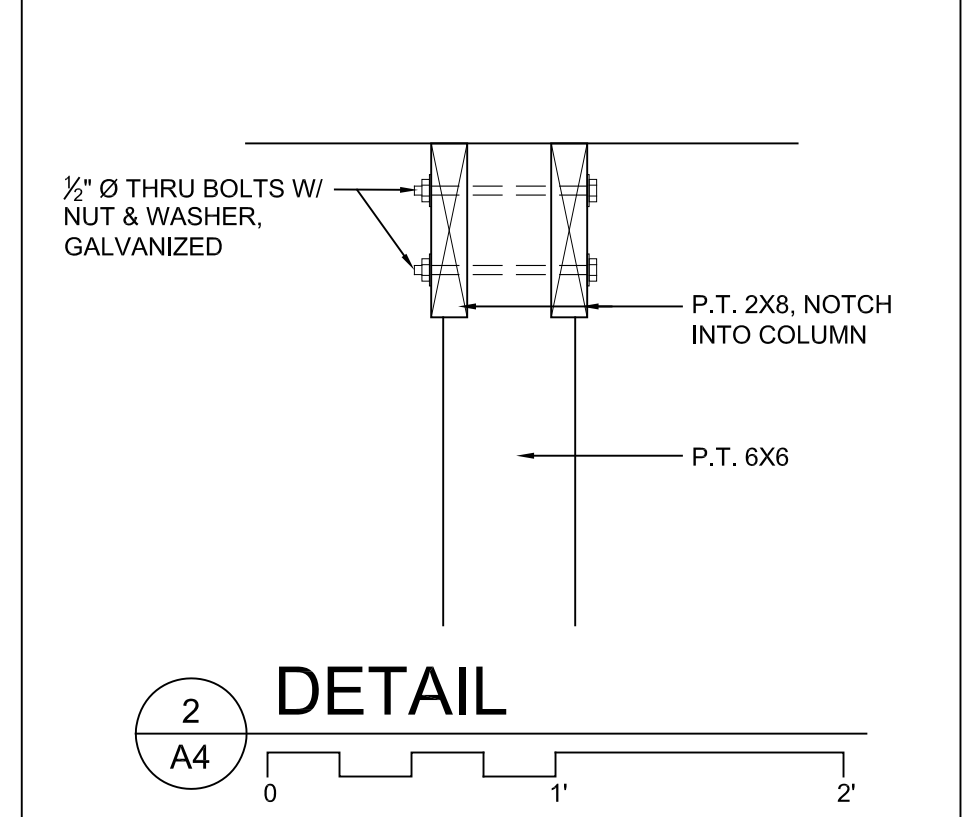


3 REAR ELEVATION  
A3

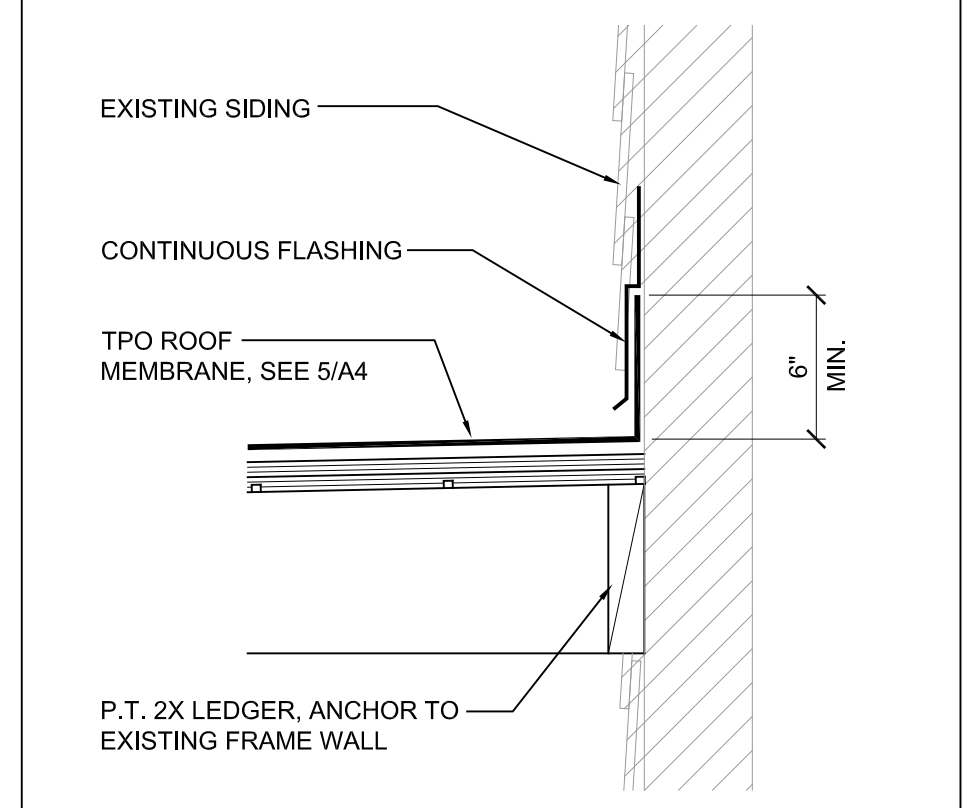




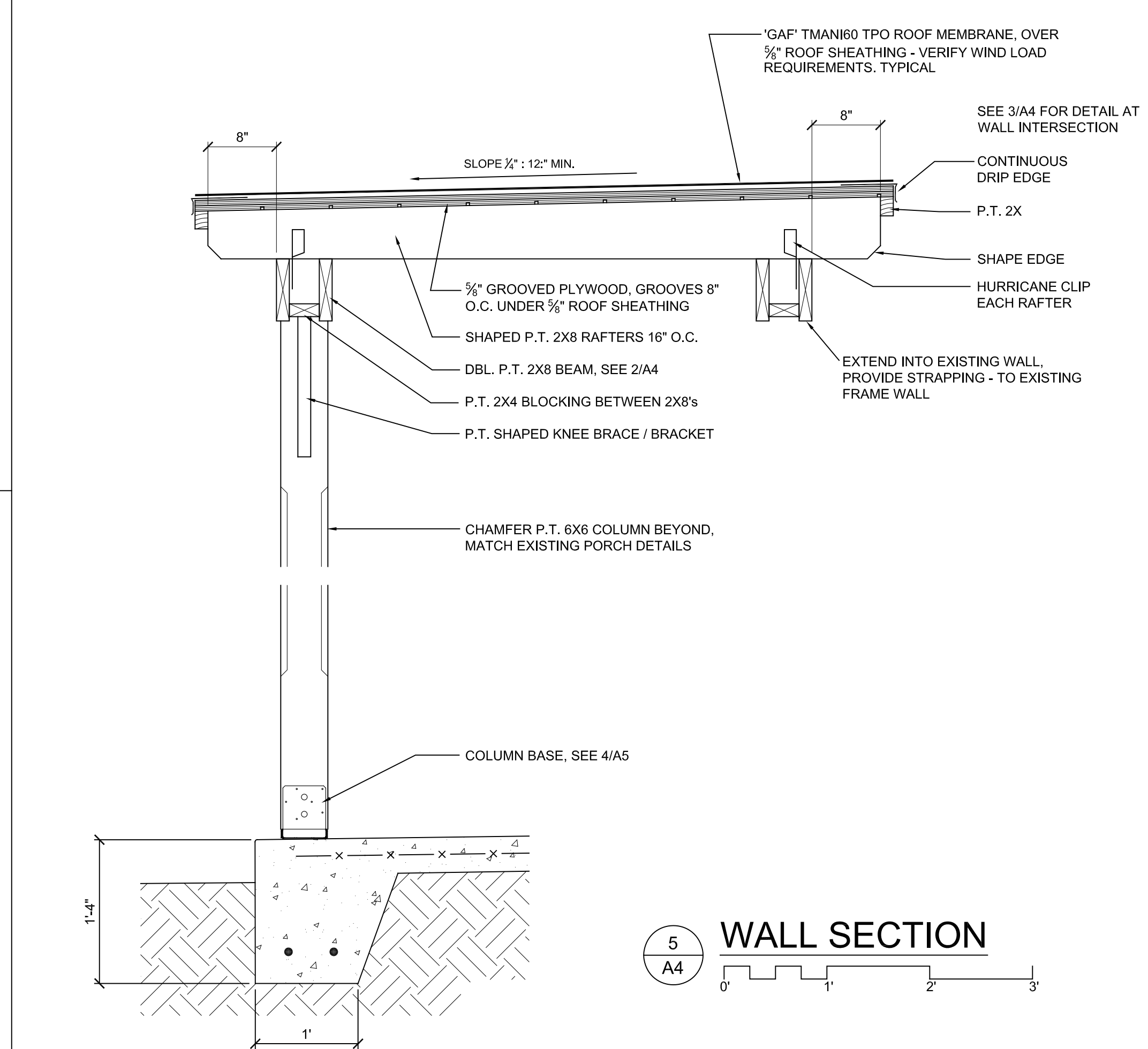
6 TRIM DETAIL FULL SCALE  
A4



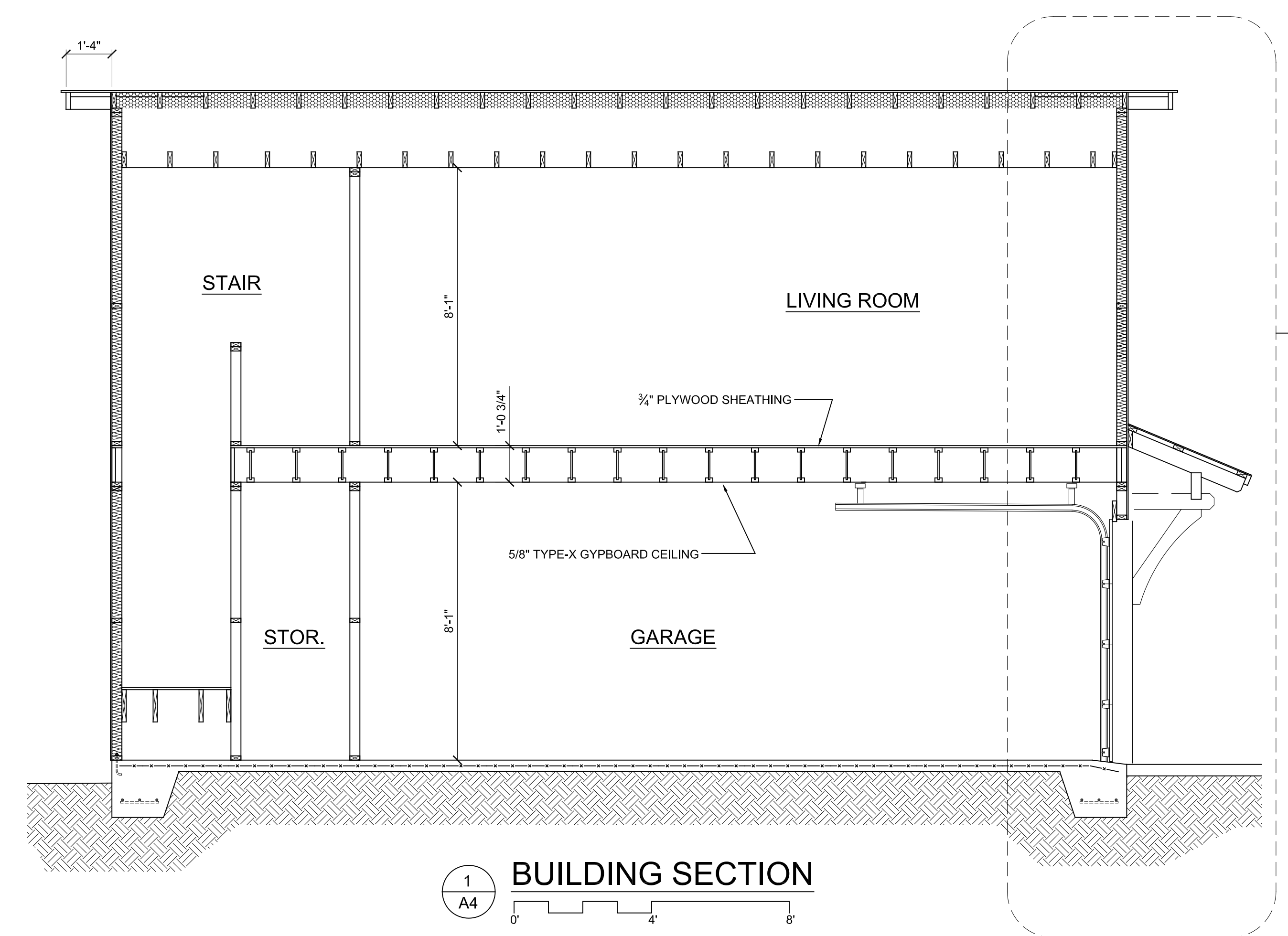
2 DETAIL  
A4



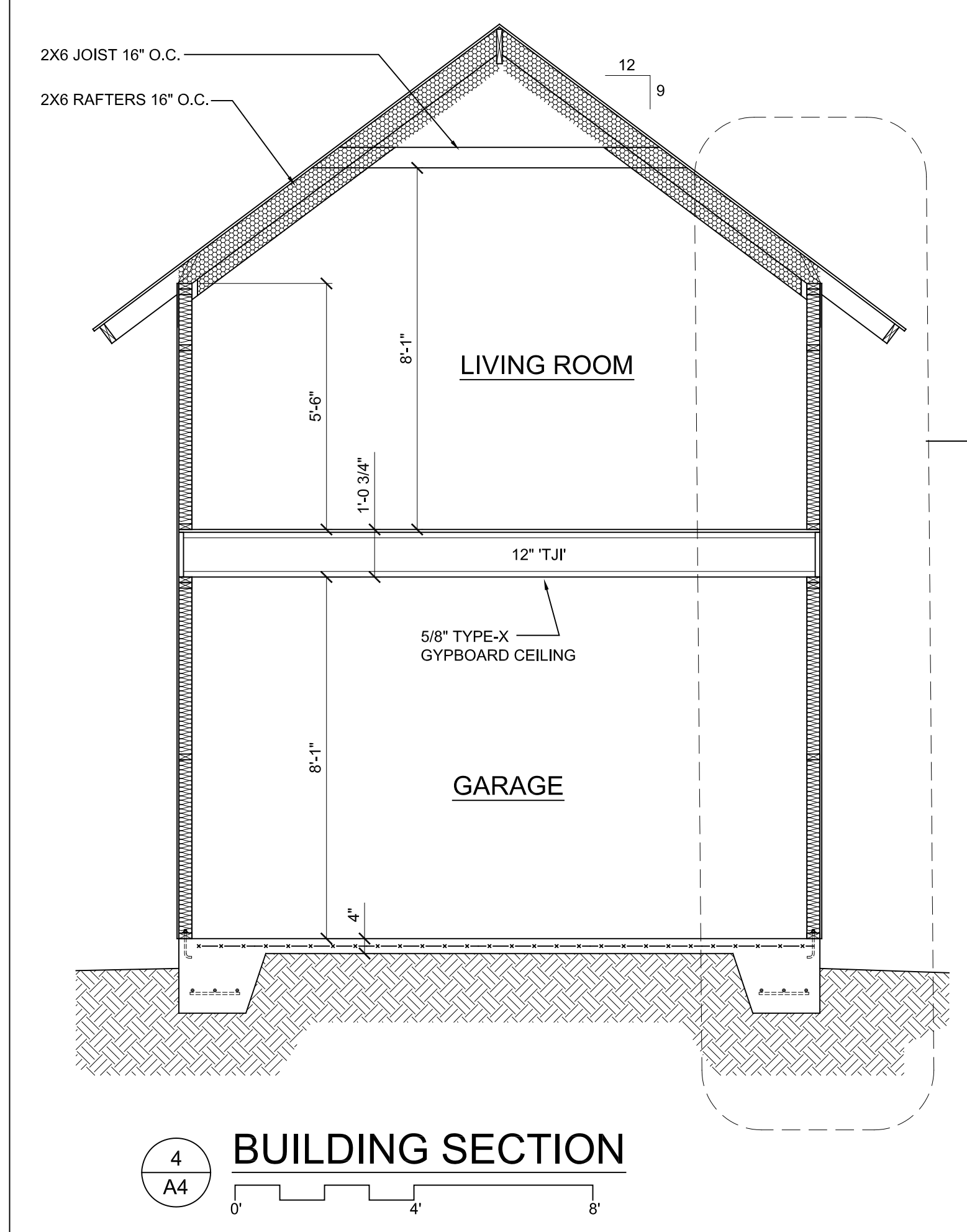
3 DETAIL  
A4



5 WALL SECTION  
A4



1 BUILDING SECTION  
A4



4 BUILDING SECTION  
A4



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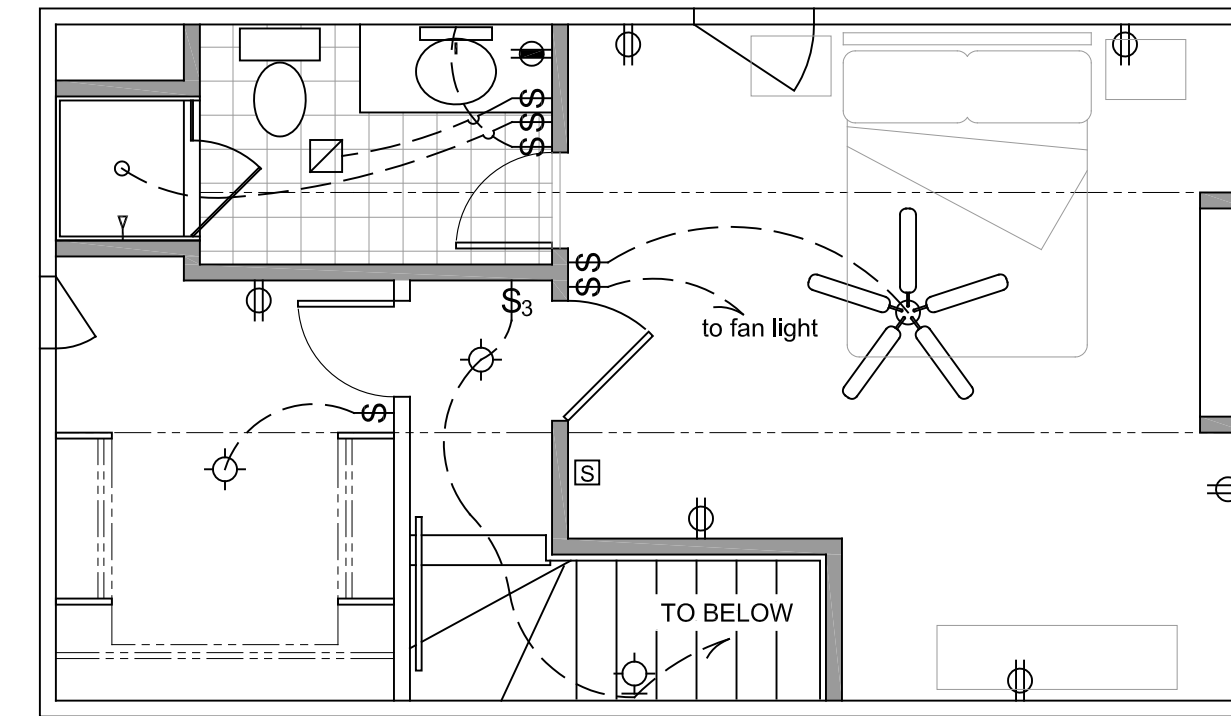
**A4**



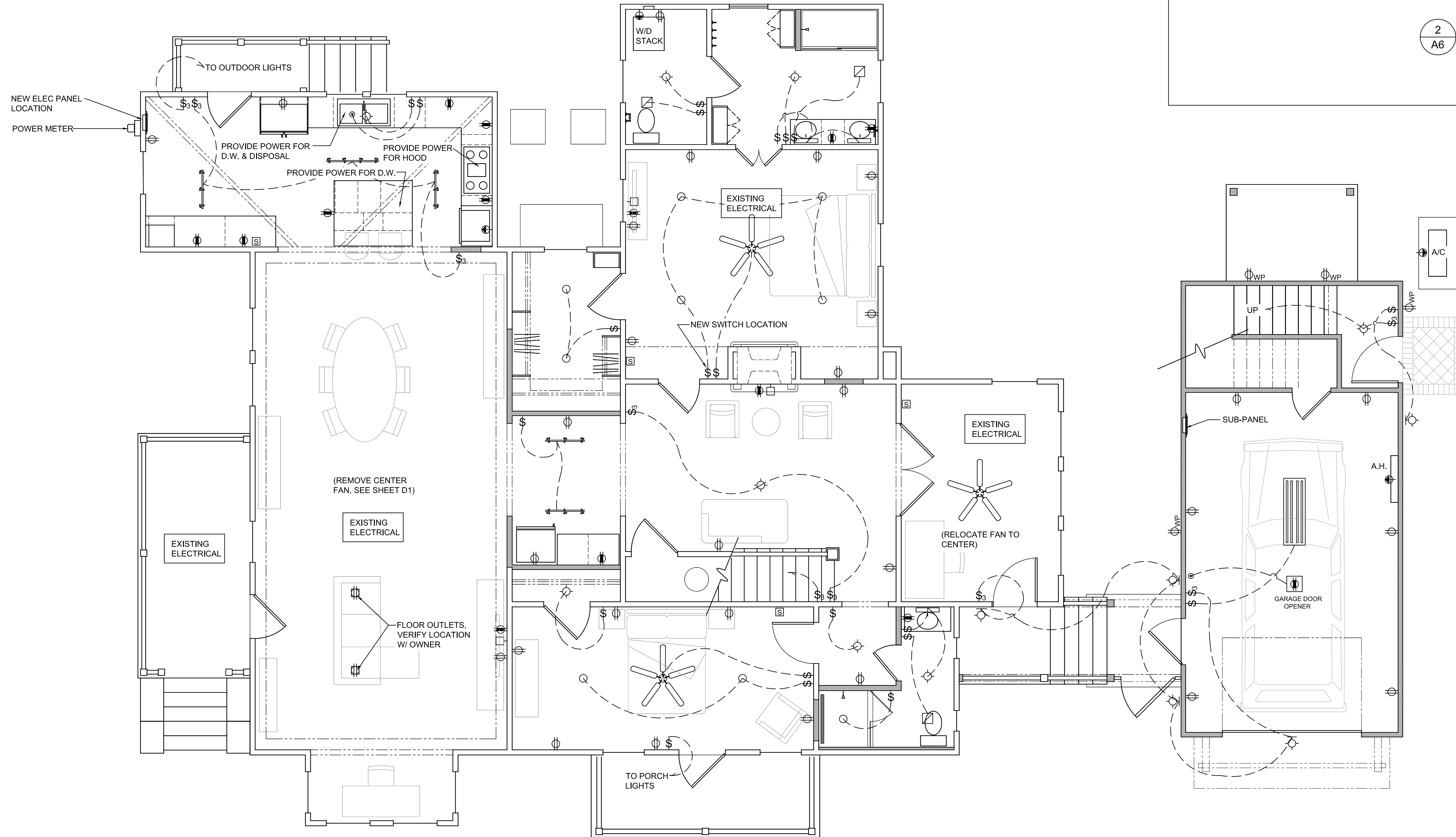
**ELECTRICAL NOTES**

1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIAN, TO MEET APPLICABLE ELECTRICAL CODE & JURISDICTION REQUIREMENTS
2. A LICENSED ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL LOAD AND SIZE THE ELECTRICAL PANELS.
3. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
4. VERIFY PHONE AND DATA OUTLET LOCATIONS WITH OWNER.
5. PROVIDE POWER FOR NEW WATER HEATERS, VERIFY LOCATION.
6. ELECTRICAL OUTLETS SHOWN IN NEW LOCATIONS, REUSE ANY EXISTING OUTLET IN CLOSE PROXIMITY

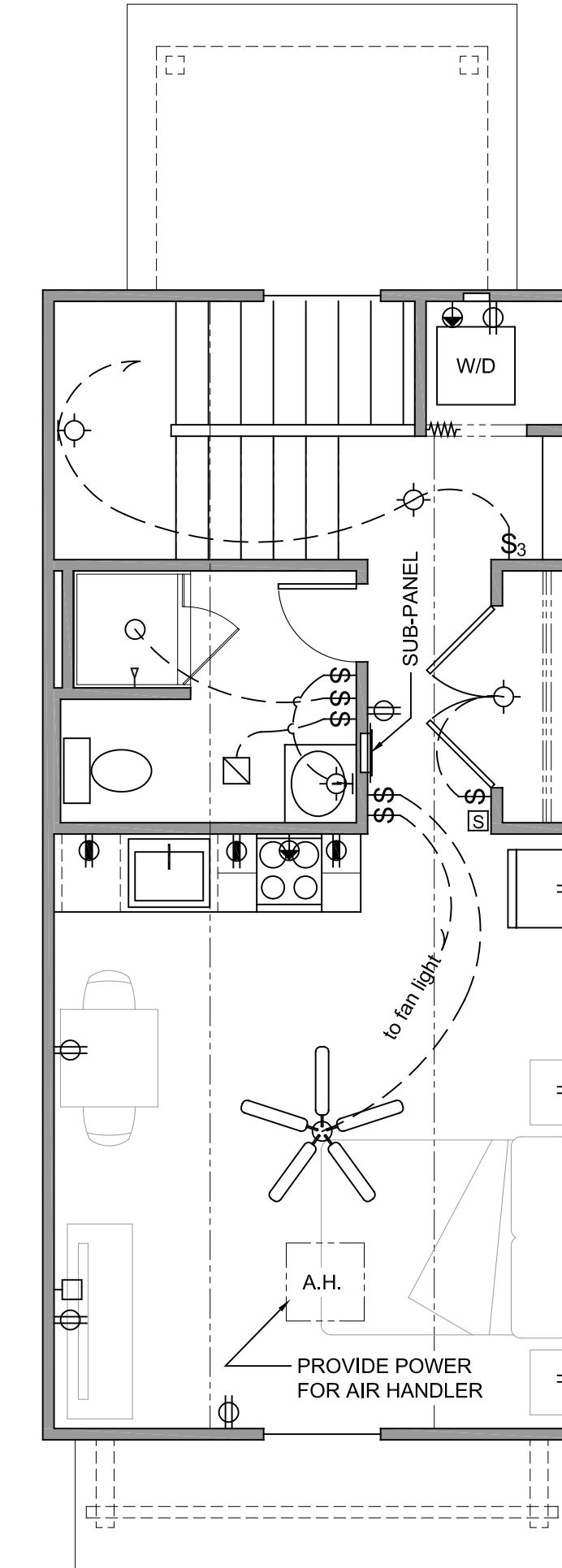
ELECTRICAL SYMBOLS LEGEND					
	DUPLEX CONVENIENCE OUTLET		SWITCH		TELEPHONE OUTLET
	DUPLEX OUTLET TOP SWITCHED		SWITCH - 3 WAY		TELEVISION CABLE OUTLET
	DUPLEX OUTLET - WATERPROOF		SWITCH WITH RHEOSTAT		EXHAUST FAN
	DUPLEX OUTLET - VERIFY HEIGHT		RECESSED INCANDESCENT LIGHT		EXHAUST FAN AND LIGHT
	SPECIAL OUTLET - VERIFY		CEILING MOUNT INCANDESCENT		PUSH BUTTON
	QUADRAPLEX OUTLET		WALL MOUNT LIGHT		CHIME
	DUPLEX OUTLET FLOOR MOUNTED		FLUORESCENT FIXTURE		SMOKE DETECTOR
	SMART JACK		FLOOD LIGHT - DIRECTIONAL		GARAGE DOOR SENSOR



**2**  
A6  
**2nd FLOOR ELECTRICAL PLAN**  
0' 4' 8' 12'



**1**  
A6  
**1st FLOOR ELECTRICAL PLAN**  
0' 4' 8' 12'



**3**  
A6  
**GARAGE 2nd FLOOR ELECTRICAL PLAN**  
0' 4' 8' 12'



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**A6**