



CITY OF BRUNSWICK, GEORGIA
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
 & MATERIAL CHANGES TO EXTERIOR FEATURES**
 Brunswick Historic Preservation Board

COA

1. Name of Applicant: Kelly Hnatt Date: 12/22/21

You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.

Mailing Address: 18 Cromley Court, Saint Simons Island Zip Code: 31522

Daytime Telephone: 646-369-6030

E-mail Address: Hnattk@gmail.com

Relationship of Applicant to Property: Owner () Architect () Contractor
 () Other (Specify) _____

2. Address and Legal Description of Property: 1729 Norwich Street

Year Built: 1950 Historic Designation: () Historic (more than 50 years old and contributing)
 Era: Early Mid-Century Historic-obscured (50 years old but not contributing)
 () Non-historic (less than 50 years old, yet not detracting)
 () Intrusions (any aged structure, which detracts)
 () Vacant

3. Proposed Work:

<input type="checkbox"/> New Construction	<input type="checkbox"/> New Signage
<input type="checkbox"/> Demolition	<input type="checkbox"/> Parking Lot, Driveway or Walkway
<input type="checkbox"/> Relocation	<input type="checkbox"/> Outbuilding or Accessory Structure
<input type="checkbox"/> Excavation	<input type="checkbox"/> Lighting Fixtures
<input type="checkbox"/> Fencing or landscaping	<input checked="" type="checkbox"/> Other
<input type="checkbox"/> Reconstruction or alteration of the size, shape or façade of an existing structure.	
<input type="checkbox"/> A change in the location or extent of signage.	

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

See attached.

IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.



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C₂

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

SIGNATURE OF APPLICANT:

Kelly M. Hunt

Staff Comments: _____

**CITY OF BRUNSWICK
 CERTIFICATE OF APPROPRIATENESS
 Brunswick Historic Preservation Board**

A Certificate of Appropriateness is hereby issued to: _____

For the following actions: _____

at _____

provided the following conditions are met: _____

SIGNATURE:

Chairperson, Historic Preservation Board

DATE: _____

This is to request permission to paint a mural on the southern wall of 1729 Norwich Street, as outlined below.



It is expected that the mural will be prepared by Kevin Bongang, who has done other mural work in Brunswick, among other locations, and resides here with his wife. His work may viewed at the following link. www.bongang.com

I purchased this building in 2020, with the intent of converting it into 9 apartments. Initial plans are also included with this submission. So long as building costs have stabilized, I plan to start construction in spring 2022. A full submission for a C of A and permitting of the construction will be forthcoming in January 2022. Here is a rendering of the completed façade:



I would like to proceed with this mural in advance of construction because the building has been vacant for nearly three years (and before that was the GA State Probation Department); I am involved in various civic efforts to revitalize and engage Norwich Street; and as one local resident has observed, Norwich Street is “gloomy.”

The mural will be compatible with the intent of the building—small loft-style rental apartments for local residents who want to live downtown. It is not on the primary façade and does not face or obscure any historically significant sites. I intend for the mural colors to be in a blue/gray/black/white scheme to complement the envisioned exterior. There may be some limited verbiage, such as “work,” “play,” “live,” “walk,” “engage,” “community,” to embody what we are trying to accomplish in the revitalization of this district, but it will be largely artwork. It will comply with the GVA guidelines and, as such, will have no trademarks/advertising/branding, obscenities or other incompatible items. It will likely have geometric shapes and a “mid century” vibe to complement the mid century character of surrounding buildings and Norwich Street generally.

I will personally be supervising the project and will not need to block off the street. I will provide the adjacent property owner with notice of the project, as we will be working on the property’s lot line. As I am paying for this mural and will also own the building indefinitely, the mural will use quality materials after thorough preparation of the wall for longevity.

I have not yet contacted Glynn Visual Arts regarding the project, but I intend to do so, as they may wish to consider it for inclusion in the Brunswick Mural Project. I wanted to get this on the agenda, however, so that I have my C of A if the artist can fit this into his schedule in January.

NOT RELEASED
FOR
CONSTRUCTION

USSERY/ULE ARCHITECTS P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GEORGIA 31522
www.ussery.com
PH: 912.243.6688



NORWICH APARTMENTS
1729 NORWICH STREET
BRUNSWICK, GEORGIA

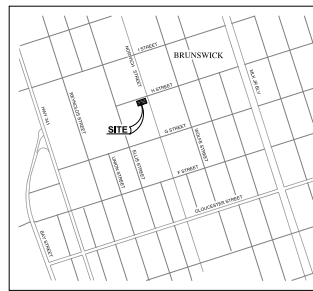
2022
3-15-21

T-1

NORWICH APARTMENTS



VICINITY MAP



SHEET INDEX

- T-1 TITLE SHEET - GENERAL NOTES, CODE
- G-1 GENERAL NOTES - ASSEMBLY TYPES
- U-1 UTILITY PLAN
- A-1 SITE PLAN
- A2.1 DEMOLITION PLAN
- A2.2 1st FLOOR PLAN
- A2.3 2nd FLOOR PLAN
- A2.4 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 WALL SECTIONS
- A4.4 DETAILS
- A4.5 DETAILS
- A5.1 DOOR & WINDOW SCHEDULES
- A5.2 INTERIOR ELEVATIONS & DETAILS
- A5.3 DETAILS
- E1.1 1st FLOOR ELECTRICAL
- E2.1 2nd FLOOR ELECTRICAL
- M1.1 1st FLOOR MECHANICAL
- M2.1 2nd FLOOR MECHANICAL

PROGRESS DRAWING

GENERAL NOTES	2018 IBC CODE DATA
1. ALL WORK, MATERIALS, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES, ORDINANCES, REGULATIONS AND ORDINANCES.	1. OCCUPANCY CLASSIFICATION: RESIDENTIAL, R-4 APARTMENTS IBC 303.2
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY OTHERS.	2. ACCESSIBILITY: ALL UNITS ARE TYPE III UNITS. IBC 107.2.2.2 UNITS THAT ARE NOT REQUIRED TO BE TYPE III UNITS ARE IBC 107.2.2.2 TYPE III UNITS SHALL COMPLY WITH ASHRAE 91.4.4
3. IF CONTRACT ITEMS IN THE ENCLOSED DRAWINGS CONTACT ARCHITECT PRIOR TO PROCEEDING	3. BUILDING CONSTRUCTION: EXTERIOR MASONRY BEARING WALLS WITH WOOD ROOF TRUSSES AND WOOD ROOF; 2X WALLS TYPE III CONSTRUCTION IBC 602.3 REQUIRED TO BE SPREINTEGRATED WITH IRR SYSTEM IBC 504.2 Minimum 75
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE CONSTRUCTION IS IN PROGRESS AND UNTIL JOBS IS COMPLETE	4. ALLOWABLE BUILDING HEIGHT: FIRST FLOOR: 15.00 FT. IBC TABLE 602.3, 4 STORES PER TABLE 604.4 SECOND FLOOR: 15.00 FT. IBC TABLE 602.3
5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE JOB SITE SAFETY OF WORKERS AND OTHERS WHILE CONSTRUCTION IS IN PROGRESS AND UNTIL JOBS IS COMPLETE	5. FIRE RESISTANCE RATING FOR BUILDING ELEMENTS BY CONSTRUCTION: IBC TABLE 601 STRUCTURAL FRAME: 2 HR EXTERIOR BEARING WALLS: 2 HR EXTERIOR NON-BEARING WALLS: TABLE 602 EXTERIOR MASONRY WALLS: TABLE 602 FLOOR CONSTRUCTION: IBC 602.3 ROOF CONSTRUCTION: IBC 602.3
6. THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL FIRE RATED WALLS REQUIRED TO HAVE PENETRATED BY RISERS, LATHES, PATTERNS, PARTS OF PUMPS, ALL MECHANICAL, DUCT, PIPING, AND CASES. OTHER PENETRATIONS SHALL BE CONFINED IN CONCEALED SPACES THE FOLLOWING: FIRE AND SOUND BARRIERS: ALL PENETRATIONS SHALL BE NO MORE THAN 1/8" GFT ON CENTER, WITH A MAXIMUM GFT OF 1/8" IN HEIGHT	6. FIRE ALARM AND DETECTION SYSTEMS SHALL BE 1 HOUR IBC 703.3 A. CORRIDOR AND SLEEPING UNIT SEPARATIONS SHALL BE 1 HOUR IBC 703.3 B. CORRIDOR FIRE RESISTANCE RATING: IBC MIN 1 HOUR IBC 703.3 C. CORRIDOR DOOR RATING: IBC MIN 75 L/F D. FIRE ALARM AND DETECTION SYSTEM: IBC 703.2 WHERE REQUIRED PER BUILDING AND STRUCTURES, NOT EXCEED ONE MANUAL FIRE ALARM BOX SHALL BE INSTALLED. E. OCCUPANT LOAD: (104) 1.1 RESIDENTIAL 1.1 OCCUPANT PER 200 SQ FT.
7. THE ALARM CONTRACTOR SHALL OBTAIN THE FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION, AND THE SPRINKLER PERMIT PRIOR TO INSTALLATION. ALL PERMITS MUST BE COMPLETED AND IN FORCE PRIOR TO CONSTRUCTION.	7. OCCUPANT LOAD: UNIT A: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT B: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT C: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 UNIT D: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 UNIT E: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT F: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT G: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 UNIT H: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 UNIT I: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT J: 624 SQ FT. 100 L.P.S. PER ROOM = 2.12 UNIT K: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 UNIT L: 776 SQ FT. 100 L.P.S. PER ROOM = 2.54 TOTAL OCCUPANT LOAD = 230 OCCUPANTS
8. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY OTHERS.	8. EGRESS: A. CORRIDOR PATH OF EGRESS TRAVEL: 150' FOR GROUP I-2 WITH SPRINKLER SYSTEM IBC 703.5.2 (1) AND IBC 703.5.2 (2) B. UNIT ACCESS TRAVEL PATHS: IBC TABLE 703.2 GROUP I-2 WITH SPRINKLER SYSTEM = 250 FEET C. MEANS OF EGRESS: IBC 703.5.1 D. EGRESS DOOR: IBC 703.5.1 E. EGRESS DOORS: IBC 703.5.1 F. EGRESS DOORS: IBC 703.5.1 G. EGRESS DOORS: IBC 703.5.1 H. EGRESS DOORS: IBC 703.5.1 I. EGRESS DOORS: IBC 703.5.1 J. EGRESS DOORS: IBC 703.5.1 K. EGRESS DOORS: IBC 703.5.1 L. EGRESS DOORS: IBC 703.5.1 M. EGRESS DOORS: IBC 703.5.1 N. EGRESS DOORS: IBC 703.5.1 O. EGRESS DOORS: IBC 703.5.1 P. EGRESS DOORS: IBC 703.5.1 Q. EGRESS DOORS: IBC 703.5.1 R. EGRESS DOORS: IBC 703.5.1 S. EGRESS DOORS: IBC 703.5.1 T. EGRESS DOORS: IBC 703.5.1 U. EGRESS DOORS: IBC 703.5.1 V. EGRESS DOORS: IBC 703.5.1 W. EGRESS DOORS: IBC 703.5.1 X. EGRESS DOORS: IBC 703.5.1 Y. EGRESS DOORS: IBC 703.5.1 Z. EGRESS DOORS: IBC 703.5.1
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE JOB SITE SAFETY OF WORKERS AND OTHERS WHILE CONSTRUCTION IS IN PROGRESS AND UNTIL JOBS IS COMPLETE	9. IBC CODE REQUIREMENTS: A. EMERGENCY ESCAPE NOT REQUIRED BY IBC CODE SECTION 1004.1 B. LOCKS AND CRACKS NOT REQUIRED BY IBC 706.4.2 exception 1 C. ROOF VENTILATION: IBC 706.3 UNVENTED ATTIC SHALL BE PERMITTED D. FIRE SPRINKLER SYSTEM SHALL MEET REQUIREMENTS FOR IRR IBC 602.3.2 & IBC 706.4.2 exception 1 E. PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF WORK IBC 109.2
10. THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL FIRE RATED WALLS REQUIRED TO HAVE PENETRATED BY RISERS, LATHES, PATTERNS, PARTS OF PUMPS, ALL MECHANICAL, DUCT, PIPING, AND CASES. OTHER PENETRATIONS SHALL BE CONFINED IN CONCEALED SPACES THE FOLLOWING: FIRE AND SOUND BARRIERS: ALL PENETRATIONS SHALL BE NO MORE THAN 1/8" GFT ON CENTER, WITH A MAXIMUM GFT OF 1/8" IN HEIGHT	SYMBOLS LEGEND C/L CONTROL LINE - 1/2" X 1/2" F/L FLOOR DOWN - SEE FLOOR PLAN F/C FIRE DEPARTMENT CONNECTION W WINDOW TYPE - SEE WINDOW SCHEDULE D DOOR SYMBOL - SEE DOOR SCHEDULE I INTERIOR ELEVATION SYMBOL - POINTS TO WALL IN THE INTERIOR ELEVATION DRAWINGS F FEATURE & ACCESSORY KEY NOTE S SECTION MARKER SD SECTION DETAIL KEY NOTE W WALL TYPE & ASSEMBLY TYPE KEY - SEE FLOOR PLAN & SECTIONS FOR LOCATIONS, SEE SHEET G FOR ASSEMBLY TYPE DETAILS A ACCESSORY KEY NOTE - CLEAR FLOOR AREA AT SIGN C CLOSET E EGRESS I INTERIOR EXHIBITION CABINET - SEE SCHEDULE I INDICATES 1/2" SIGN SEE ELECTRICAL
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PROJECT DIRECTORY

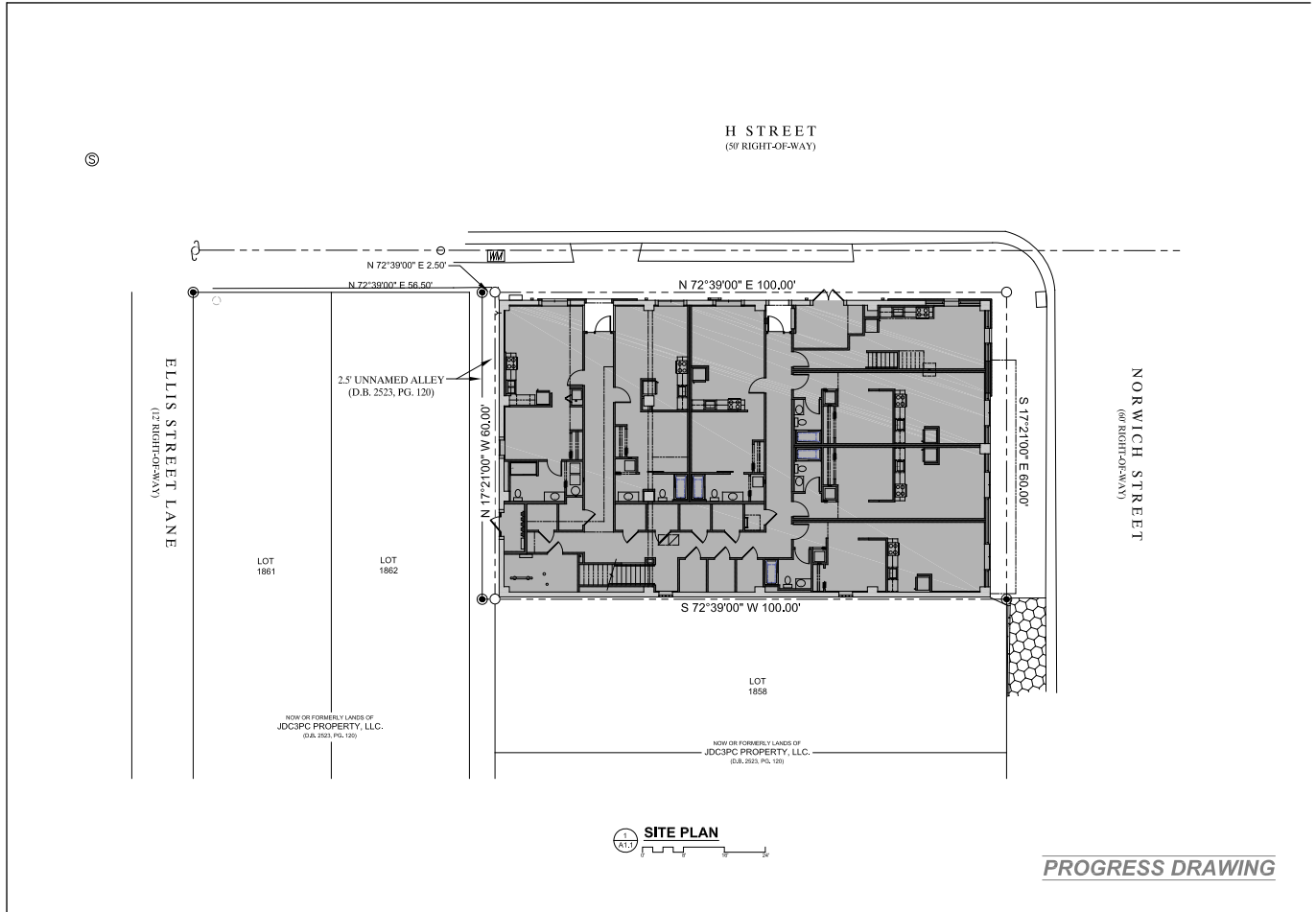
OWNER: KELLY HAWTHORNE
ARCHITECT: ROBERT USSERY

PLAT INFORMATION

- 1. SURVEY INFORMATION TAKEN FROM A SURVEY BY JACKSON SURVEYING, INC. DATED IN 2010, JOB #077002-12-010
- 2. THE PROJECT SITE IS SHOWN TO BE IN A FLOOD HAZARD ZONE 'X'
- 3. THE PROJECT SITE IS SHOWN TO BE IN A ZONING DISTRICT WITH NO BUILDING SETBACKS

REFERENCE CODES

2018 IBC W/ GEORGIA AMENDMENTS (2020)
2018 IBC W/ GEORGIA AMENDMENTS (2020)
2018 IBC W/ GEORGIA AMENDMENTS (2020)
2018 IBC W/ GEORGIA AMENDMENTS (2020)
2018 IBC
2018 INTERNATIONAL ENERGY CODE W/ GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)



PROGRESS DRAWING

NOT RELEASED FOR CONSTRUCTION

USSERY/RULE ARCHITECTS P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GEORGIA 31522
PIE 912-334-6688
www.usrule.com

UR
Architects

NORWICH APARTMENTS
1728 NORWICH STREET
BRUNSWICK, GEORGIA

2022
2-15-21

A1.1

PROGRESS DRAWING

NOT RELEASED FOR CONSTRUCTION

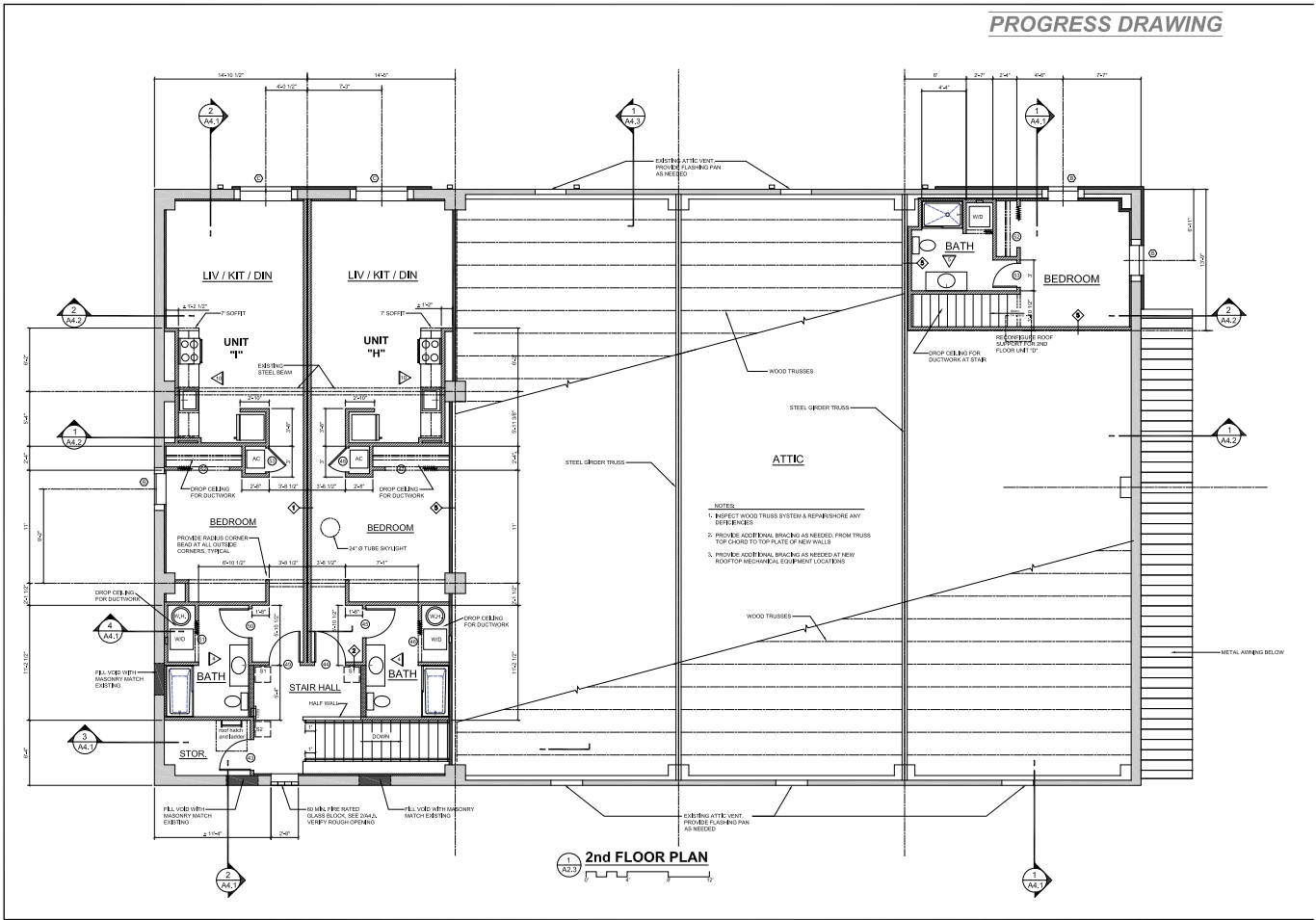
USSERY/RULE ARCHITECTS P.C.
 1804-A FREDERICA ROAD
 ST. SIMONS ISLAND, GEORGIA 31522
 www.usrac.com
 PH: 912-634-6688



NORWICH APARTMENTS
 1725 NORWICH STREET
 BRUNSWICK, GEORGIA

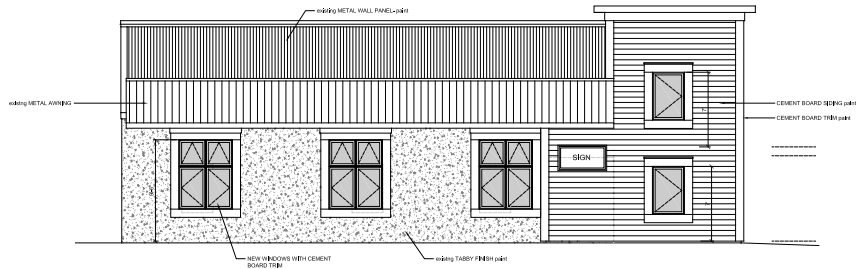
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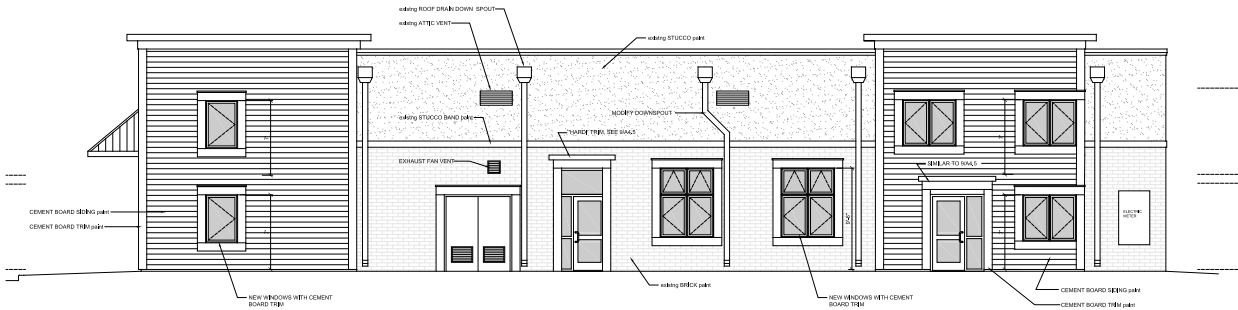


2nd FLOOR PLAN

PROGRESS DRAWING



NORWICH STREET ELEVATION (east)



H-STREET ELEVATION (north)

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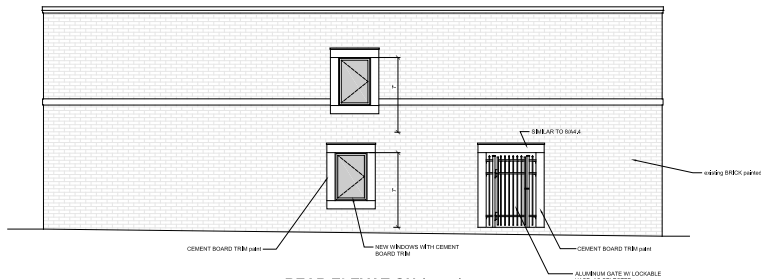
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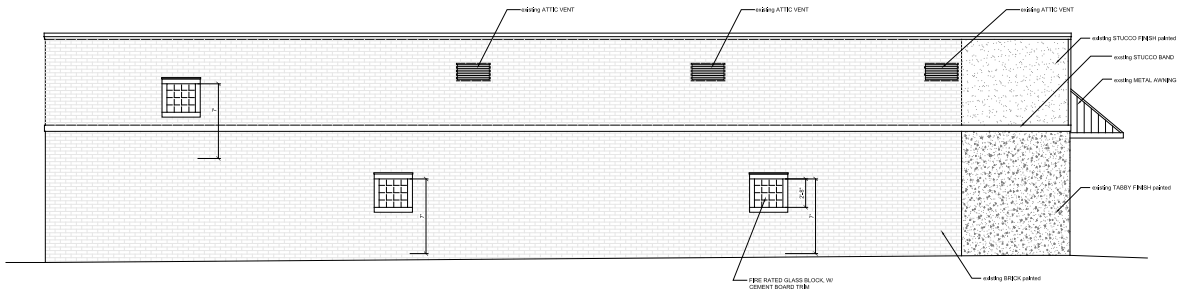
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PROGRESS DRAWING



REAR ELEVATION (west)



SIDE ELEVATION (south)

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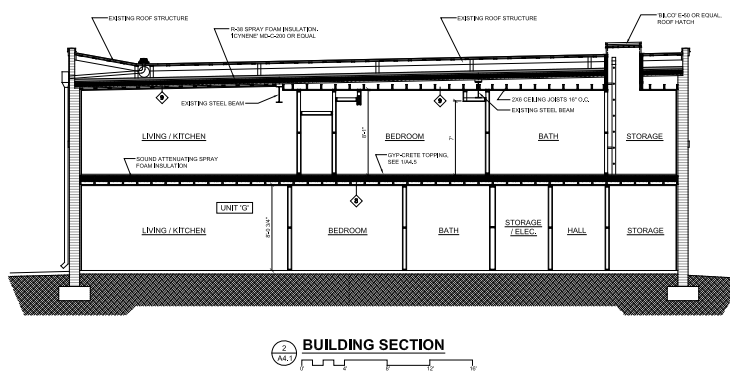
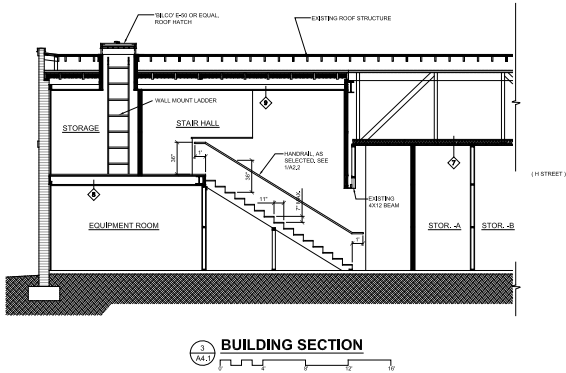
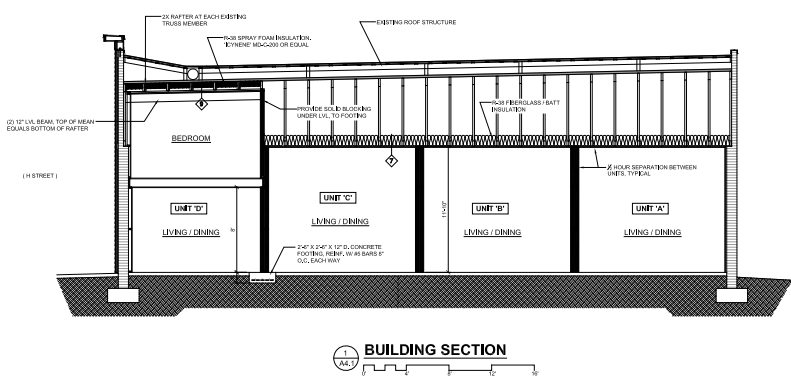
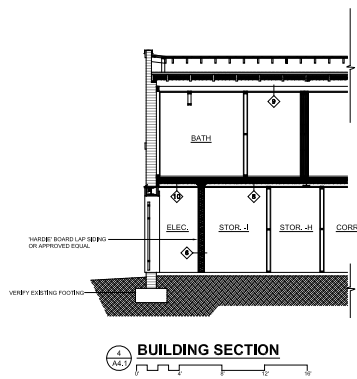
NORWICH APARTMENTS
1729 NORWICH STREET
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2-15-21	

A3.2

PROGRESS DRAWING



NOT RELEASED FOR CONSTRUCTION

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