



City of Brunswick
Planning, Development, & Codes Department
601 Gloucester Street
Brunswick, Georgia, 31520

CERTIFICATE OF APPROPRIATENESS

Please take care to insure that the information for each checkbox below is sufficiently provided. **The City of Brunswick does not accept incomplete applications.**

Applications must be submitted to the Planning, Development, & Codes Department no later than 20 days prior to the regularly scheduled meeting of the Planning and Appeals Commission. The PAC meets the second Wednesday of each month.

- Completed Application
- Survey/Lot Inspection Report/Site Plan with clearly marked property lines and setbacks
- Proof of property ownership OR proof of legal authorization from property owner
- Drawings/photographs of proposed changes and area of the property/structure
- List of proposed materials (sample materials may be requested)

The Planning, Development & Codes Department highly recommends arranging a meeting with staff prior to the submission of an application. Should you have questions or wish to arrange a meeting please contact the Historic Preservation Office at (912) 267-5527.



CITY OF BRUNSWICK, GEORGIA
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
& MATERIAL CHANGES TO EXTERIOR FEATURES
 Brunswick Historic Preservation Board

COA

1. Name of Applicant: Charles Day Date: 18/20/2021

You or your representative must be present at the meeting of the Board to answer questions that may arise. You will be notified of the time, date, and location of the meeting.

Mailing Address: 708 Richmond Street Zip Code: 31520

Daytime Telephone: 931-265-3287

E-mail Address: charles@charleswday.com

Relationship of Applicant to Property: () Owner (x) Architect () Contractor
 () Other (Specify) _____

2. Address and Legal Description of Property: 708 London Street/PTN lot 259 OT

Year Built: 1890 Historic Designation: (x) Historic (more than 50 years old and contributing)
 Era: Colonial () Historic-obscured (50 years old but not contributing)
 () Non-historic (less than 50 years old, yet not detracting)
 () Intrusions (any aged structure, which detracts)
 () Vacant

3. Proposed Work:

- () New Construction
- () Demolition
- () Relocation
- () Excavation
- () Fencing or landscaping
- (x) Reconstruction or alteration of the size, shape or façade of an existing structure.
- () A change in the location or extent of signage.
- () New Signage
- () Parking Lot, Driveway or Walkway
- () Outbuilding or Accessory Structure
- () Lighting Fixtures
- () Other

Please describe your proposed work as simply and accurately as possible. Be sure to indicate materials to be used, it is recommended you provide material samples. Accurate to-scale drawings and photographs required are to be attached. A location map is required to be attached to this application.

Attached garage addition to the existing single family dwelling structure.

IMPORTANT: This form must be completed before the Brunswick Historic Preservation Board can consider approval of any change affecting the appearance of any building, or property within the Historic District. This form, along with supporting documents, must be filed with the Historic Preservation Officer, 601 Gloucester Street at least 15 days prior to the regularly scheduled Board meeting. The Historic Preservation Board meets the first Monday of each month at 6:00 PM in at Old City Hall, 1229 Newcastle St. unless otherwise advertised.



CITY OF BRUNSWICK, GEORGIA
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
 & MATERIAL CHANGES TO EXTERIOR FEATURES**
 Brunswick Historic Preservation Board

C₂

All applicable items from the attached checklist must be addressed. Incomplete applications will not be accepted or docketed for consideration by the Historic Preservation Board.

For additional help of information, contact the Historic Preservation Officer at (912) 267-5527

SIGNATURE OF APPLICANT:

Charles D. [Signature]

Staff Comments: _____

**CITY OF BRUNSWICK
 CERTIFICATE OF APPROPRIATENESS
 Brunswick Historic Preservation Board**

A Certificate of Appropriateness is hereby issued to: _____

For the following actions: _____

at _____

provided the following conditions are met: _____

SIGNATURE:

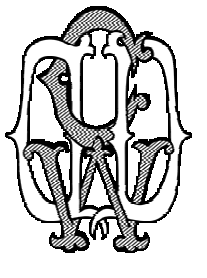
Chairperson, Historic Preservation Board

DATE: _____



① Ellis Street Perspective

PROJECT DATA				
PROJECT DESCRIPTION	GARAGE ADDITION			
PROPERTY ADDRESS	708 LONDON STREET, BRUNSWICK, GA 31520			
PROPERTY I.D. #	01-01103			
ZONING DISTRICT	GR - General Residential			
FEMA ZONE	X- FLOOD ZONE	BASE FLOOD ELEVATION	GARAGE @ GRADE	
SQUARE FOOTAGE DATA	GROSS PROJ. AREA	CONDITIONED	NON-CONDITIONED	TOTAL
	N/A	1,953 S.F. (EXISTING)	640 S.F.	2,593 S.F.
APPLICABLE CODES	2018 INTERNATIONAL BUILDING CODE - I.B.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE - I.R.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL FIRE CODE - I.F.C. incl. 2014 GA STATE AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE - I.P.C. incl. GA STATE AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE - I.M.C. incl. GA STATE AMENDMENTS...		2017 NATIONAL ELECTRICAL CODE - N.E.C. 2015 INT. ENERGY CONSERVATION CODE - I.E.C.C. incl. GA STATE AMENDMENTS 2018 INT. SWIMMING POOL & SPA CODE incl. GA STATE AMENDMENTS 2018 NFPA 101 LIFE SAFETY CODE - L.S.C. incl. GA FIRE MARSHALL AMENDMENTS 2010 I.O.J. ADA STANDARDS FOR ACCESSIBLE DESIGN 2015 GA ACCESSIBILITY CODE...	
PROJECT DATA - END				
DRAWING LEGEND				
SHEET	TITLE			REVISION DATE
G001	GENERAL			
V001	SURVEY			
S101	STRUCTURAL PLANS			
A101	FLOOR PLANS			
A201	ELEVATIONS			
R101	RECORD PLANS			
R201	RECORD ELEVATIONS			
TOTAL SHEETS: 7				



Charles W. Day
DESIGN

708 RICHMOND STREET
BRUNSWICK, GA 31520

WWW.CHARLESWDAY.COM
931-265-3287

21-004
TONEY GARAGE ADDITION
 708 London Street
 Brunswick, Ga 31520

GENERAL

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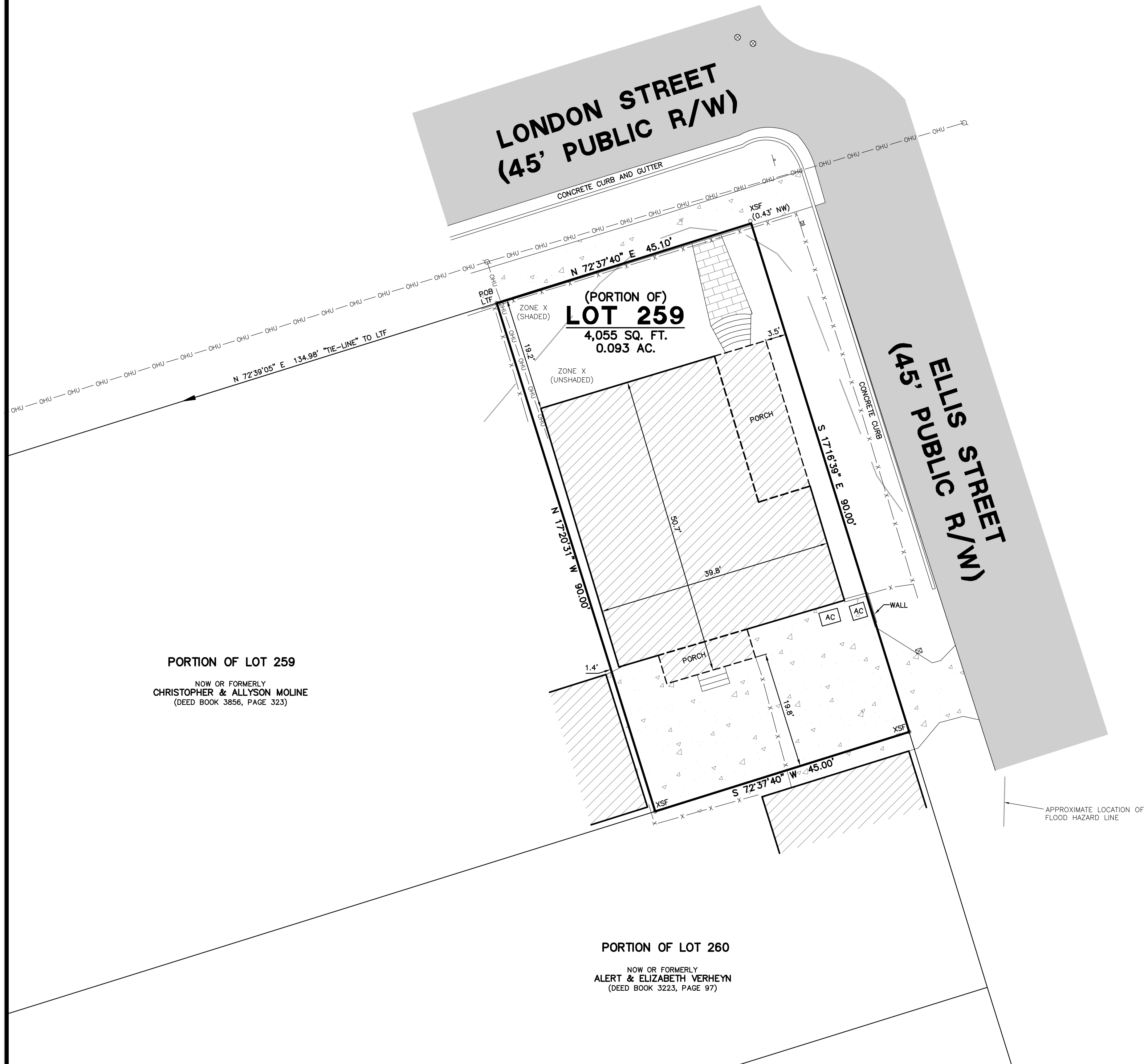
NOT FOR CONSTRUCTION

HPB REVIEW

21-004
08/18/21
CWD

G001

RESERVED FOR CLERK'S FILING INFORMATION



REFERENCES:

- BRUNSWICK CITY PLATE No. 3
- DEED BOOK 4371, PAGE 182
- SURVEY OF THE WESTERN 135' OF OLD TOWN LOT 259 PREPARED BY SHUPE SURVEYING COMPANY, P.C., DATED 08-10-1992.
- SURVEY OF THE WESTERN 135' OF OLD TOWN LOT 259 PREPARED BY SHUPE SURVEYING COMPANY, P.C., DATED 10-23-1996
- SURVEY OF A PORTION OF OLD TOWN LOT 280 PREPARED BY SHUPE SURVEYING COMPANY, P.C., DATED 08-28-2013.
- DEED BOOK 3223, PAGE 97
- DEED BOOK 3856, PAGE 323

NOTES:

- BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE SOUTHERN RIGHT-OF-WAY LINE OF LONDON STREET HAVING A BEARING OF N 72°37'40" EAST.
- FIELD EQUIPMENT USED FOR THIS SURVEY: LEICA TS 12
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A RELATIVE POSITIONAL TOLERANCE OF 0.06 FEET AT THE 95% ACCURACY CONFIDENCE LEVEL AND WAS ADJUSTED USING LEAST SQUARES.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 218,885 FEET.
- THIS SURVEY AND ALL SUBSEQUENT REVISIONS ARE BASED SOLELY ON FIELD WORK THAT WAS COMPLETED ON 04/27/2021 (UNLESS OTHERWISE NOTED). SHUPE SURVEYING COMPANY, P.C. IS NOT RESPONSIBLE FOR ANY CHANGES TO SITE CONDITIONS AFTER THIS DATE.
- THE ADJOINING PROPERTY INFORMATION AND CURRENT OWNERSHIP OF THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WERE TAKEN FROM THE GLYN COUNTY GIS WEBSITE (WWW.GLYNNCOUNTY.ORG) AND COURTHOUSE RESEARCH. THE CURRENT OWNER ARE SCOTT AND ELIZABETH TONEY (DEED BOOK 4371, PAGE 182).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A FULL TITLE EXAMINATION.
- THE LOCATION OF THE UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND, READILY VISIBLE STRUCTURES (MANHOLES, VALVES, POLES, ETC.). THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UTILITIES NOT OBSERVED OR LOCATED MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- ACCORDING TO F.I.R.M. MAP NO. 13127C, PANEL 0238H, EFFECTIVE DATE 01/05/18, IT IS MY OPINION THAT THE PROPERTY SHOWN ON THIS PLAT LIES WITHIN ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA. THE LOCATION OF THE FLOOD HAZARD LINE SHOWN HEREON WAS SCALED FROM SAID F.I.R.M. AND IS APPROXIMATE ONLY.

ZONE X (SHADED) - AREAS OF 0.2% ANNUAL CHANCE FLOOD HAZARDS AND AREAS OF 1% ANNUAL CHANCE FLOOD HAZARDS WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.

ZONE X (UNSHADED) - AREAS OF MINIMAL FLOOD HAZARD.
- FRESHWATER WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER MAY BE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATIONS AND APPROVAL. FRESHWATER WETLANDS WERE NOT SURVEYED AS PART OF THIS PROJECT.
- THE TERM "CERTIFICATION" AS USED IN BOARD RULE 180-6-.09(2) AND (3) AND RELATING TO PROFESSIONAL SURVEYING SERVICES AS DEFINED IN O.C.G.A. 43-15-2(6) AND (11) SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
- THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN, IF ANY, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

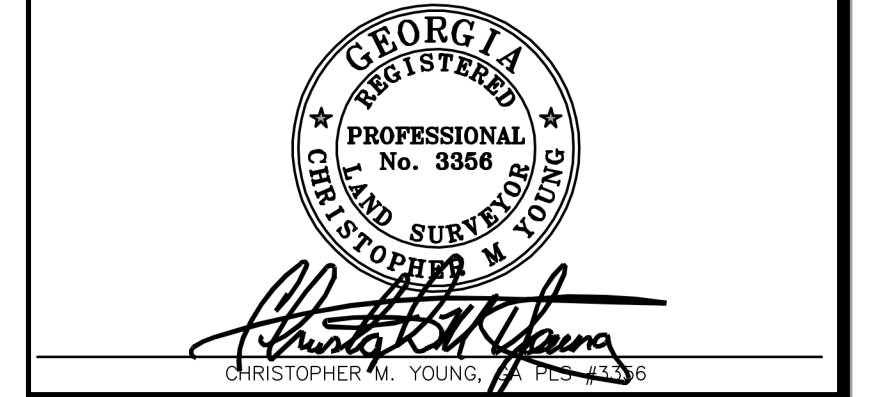
THIS DOCUMENT AND ALL REPRODUCIBLE COPIES OF THIS DOCUMENT ARE THE PROPERTY OF SHUPE SURVEYING COMPANY, P.C. REPRODUCTION OF THIS DOCUMENT IS NOT PERMITTED WITHOUT WRITTEN CONSENT OF SHUPE SURVEYING COMPANY, P.C. UNLESS THIS DOCUMENT BECOMES A MATTER OF PUBLIC RECORD. ALTERATIONS TO THIS DOCUMENT ARE NOT PERMITTED.

LEGEND:

○	POB	POINT OF BEGINNING
○	LTF	LEAD AND TACK FOUND
○	XSF	"X" SCRIBE FOUND
⊗		WATER METER
⊙		WATER VALVE
⊖		UTILITY POLE
—		SIGN
⊞		MAIL BOX
—		FENCE
—		OVERHEAD UTILITIES
□		CONCRETE
▨		BUILDING
▩		BRICK
■		ASPHALT

SURVEYORS RECORDING CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



NO.	REVISION	BY	DATE

A BOUNDARY RETRACEMENT SURVEY OF:

A PORTION OF LOT 259 OLD TOWN SUBDIVISION

26TH G.M.D.
CITY OF BRUNSWICK
GLYNN COUNTY, GEORGIA

PREPARED FOR:
SCOTT TONEY
ELIZABETH TONEY

SHUPE SURVEYING COMPANY, P.C.
3837 DARIEN HIGHWAY
BRUNSWICK, GA 31525
912-265-0562
CERTIFICATE OF AUTHORIZATION: LSF317

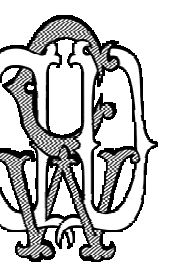


SCALE	1" = 10'	DRAWING DATE	04/30/21
FILE	21199	DRAWN BY	MJD
DRAWING	21199	CREW CHIEF	RG

SHEET 1 OF 1

V001

V:\Project Files\21199\DWG\21199.dwg, 5/12/2021 1:50:45 PM



Charles W. Day
DESIGN

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21-004
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FLOOR PLANS

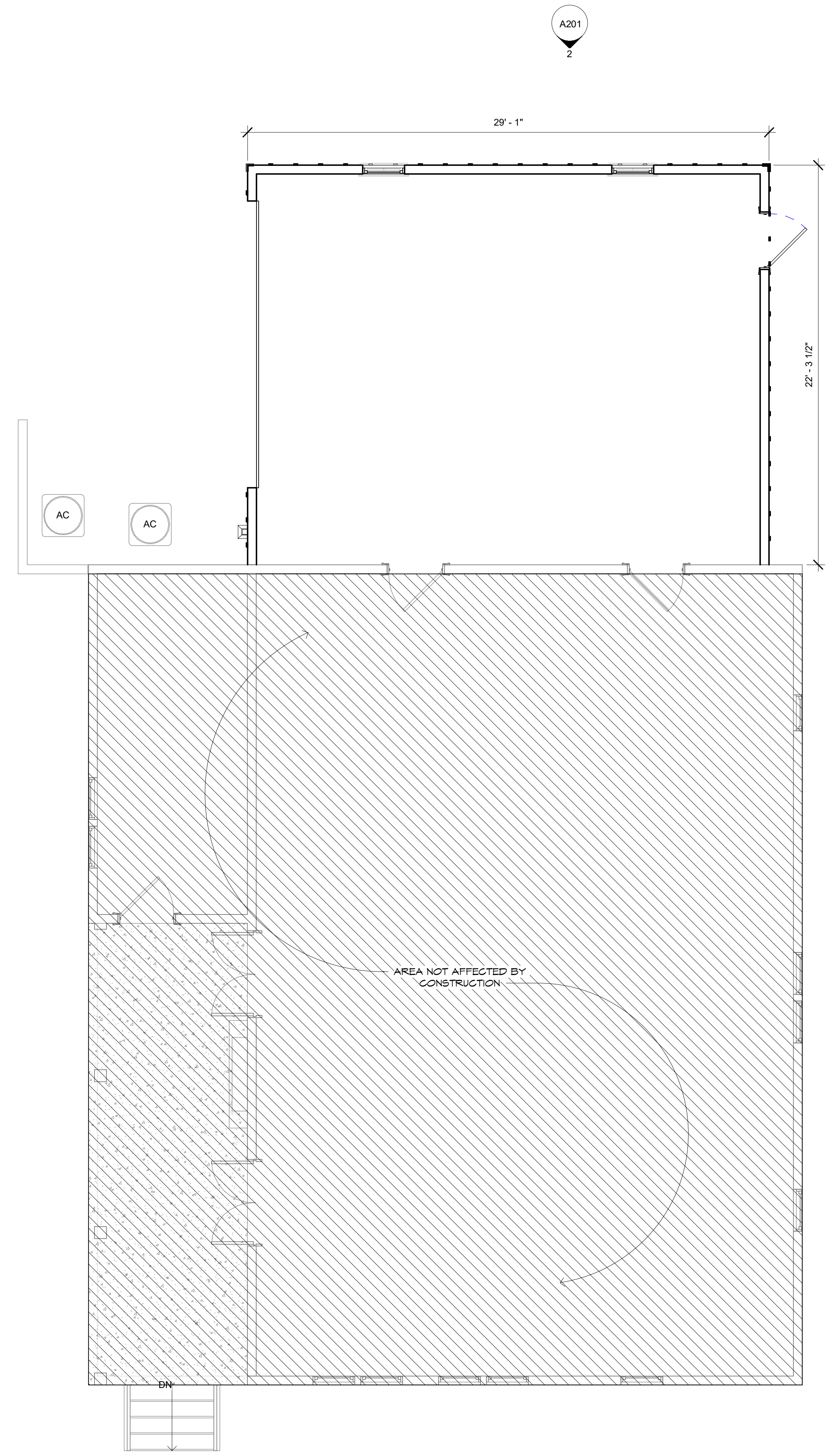
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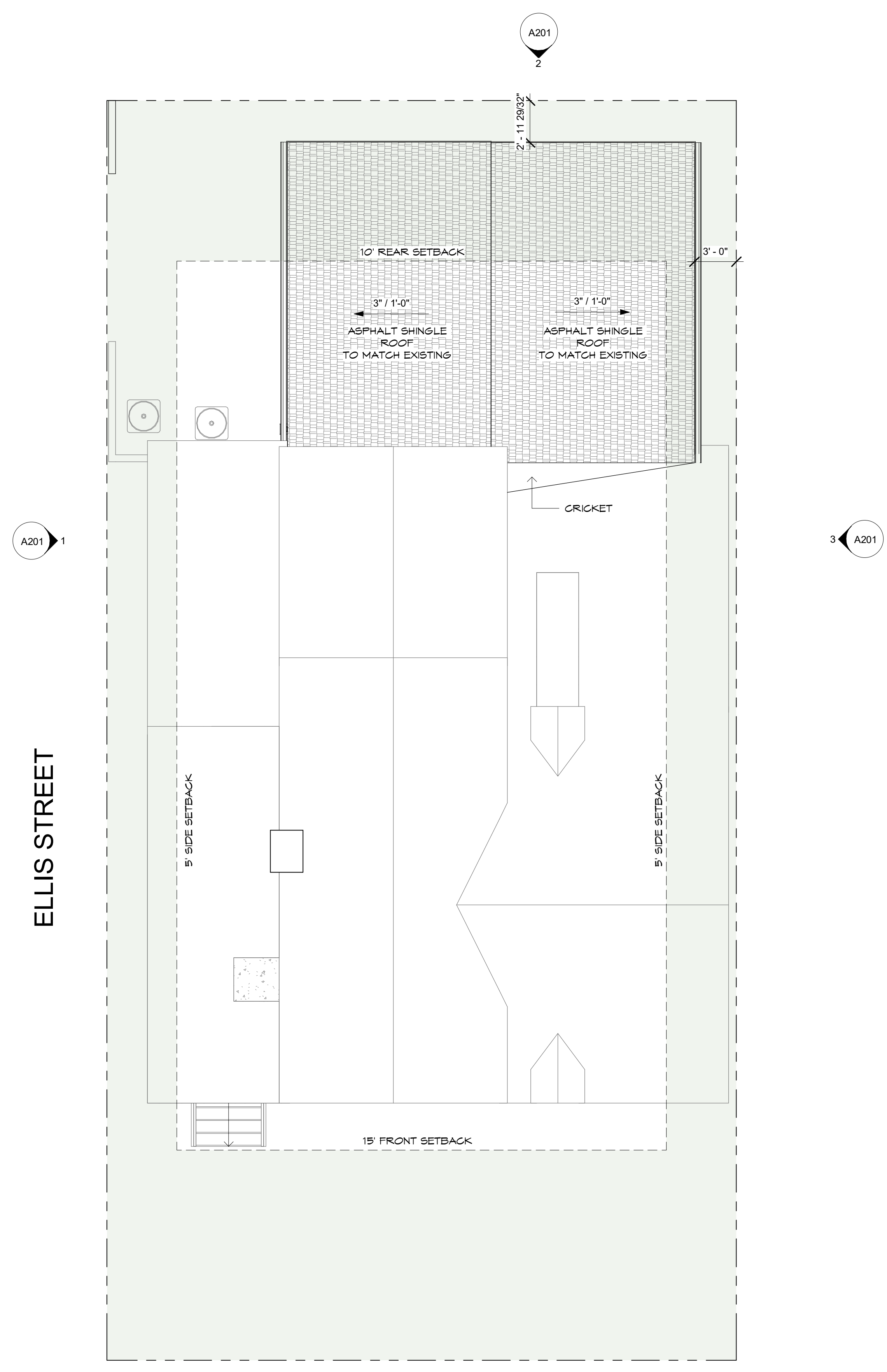
HPB REVIEW

21-004
08/18/21
CWD

A101



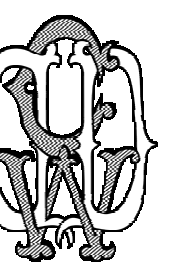
1 FIRST LEVEL - PROPOSED
1/4" = 1'-0"



2 SITE - PROPOSED
3/16" = 1'-0"

LONDON STREET

ELLIS STREET



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ELEVATIONS

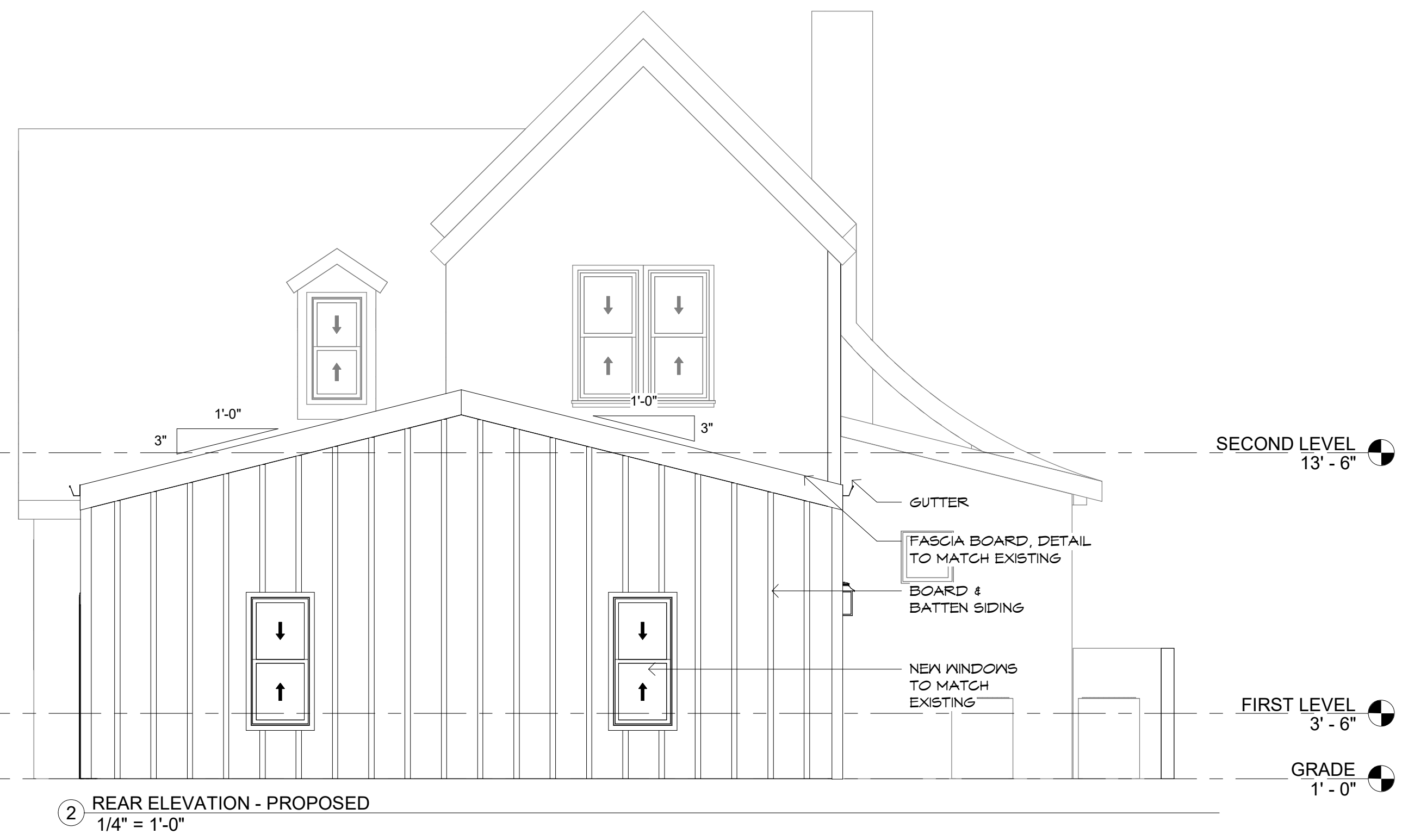
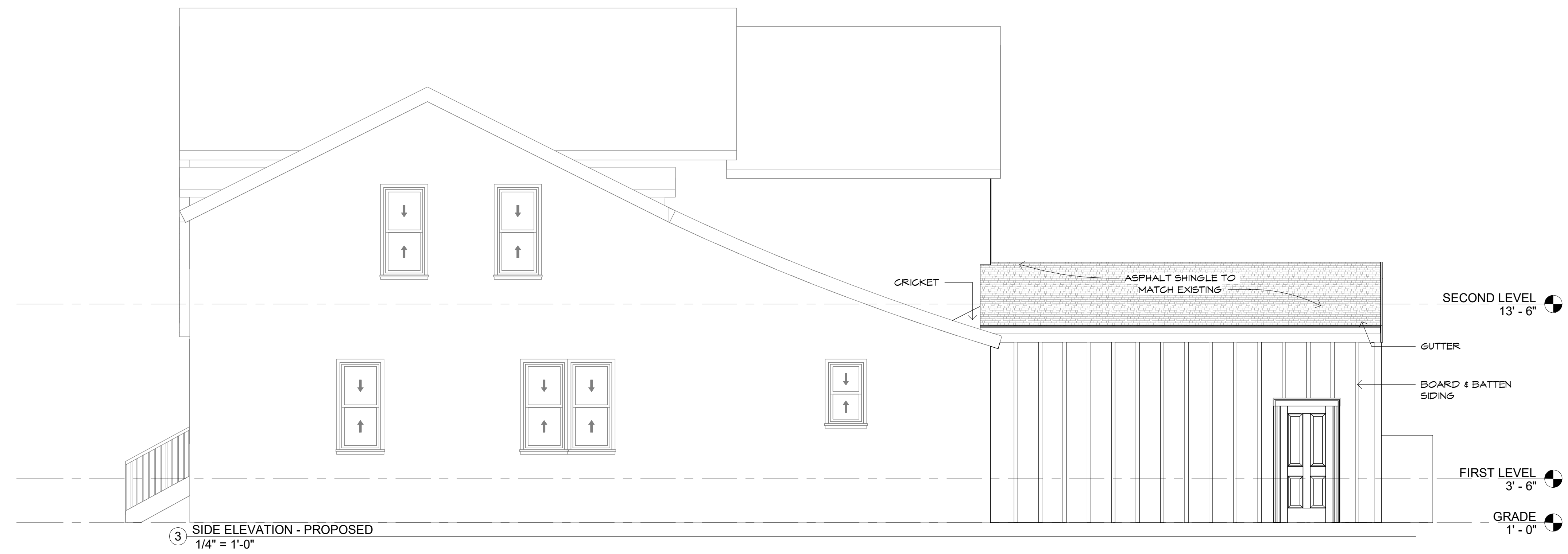
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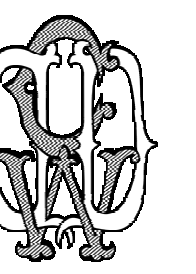
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NEW CONSTRUCTION EXISTING STRUCTURE



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TONEY GARAGE ADDITION
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RECORD PLANS

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21-004
08/19/21
CWD

R101

R201
3

R201
3

R201
2

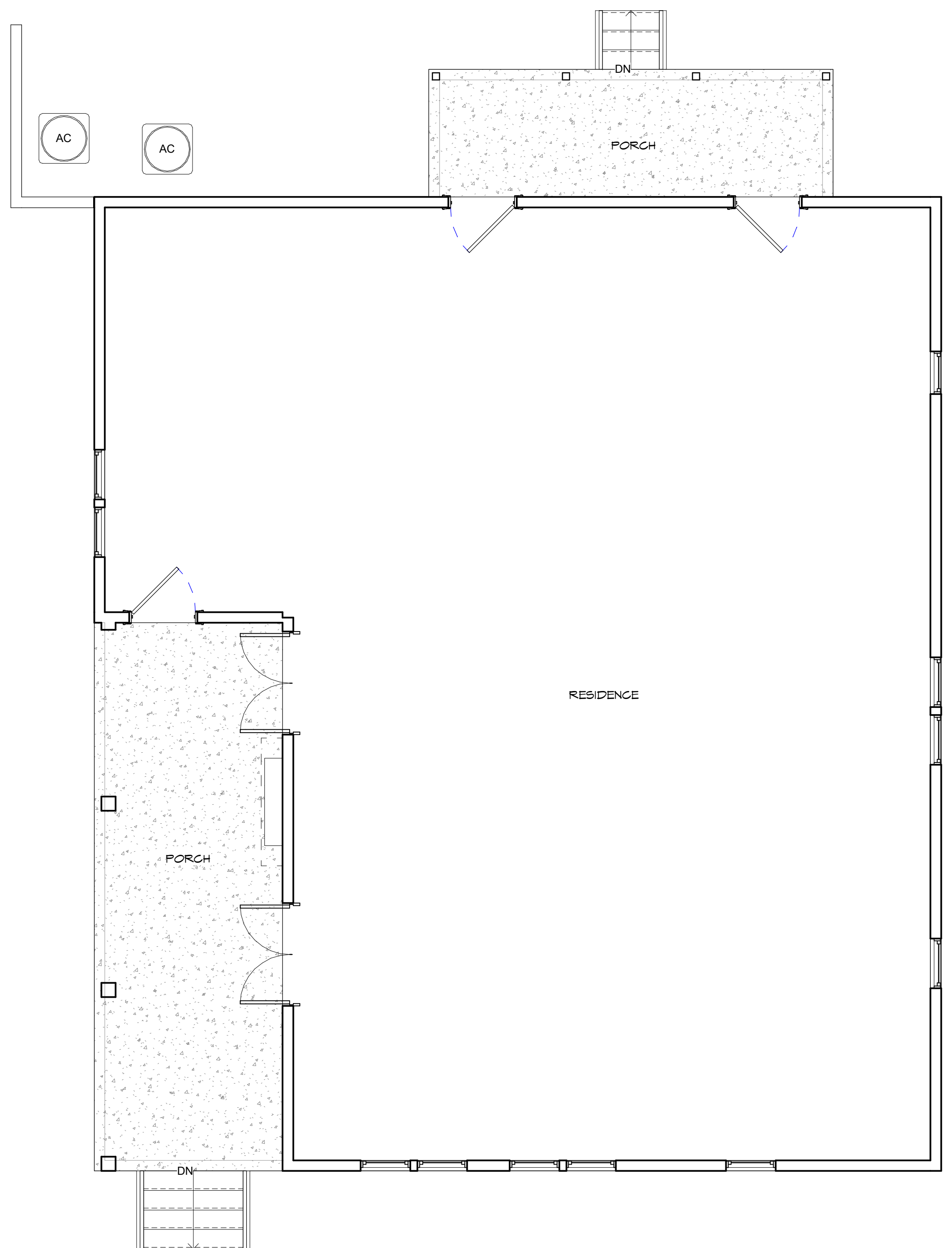
R201
4

R201
2

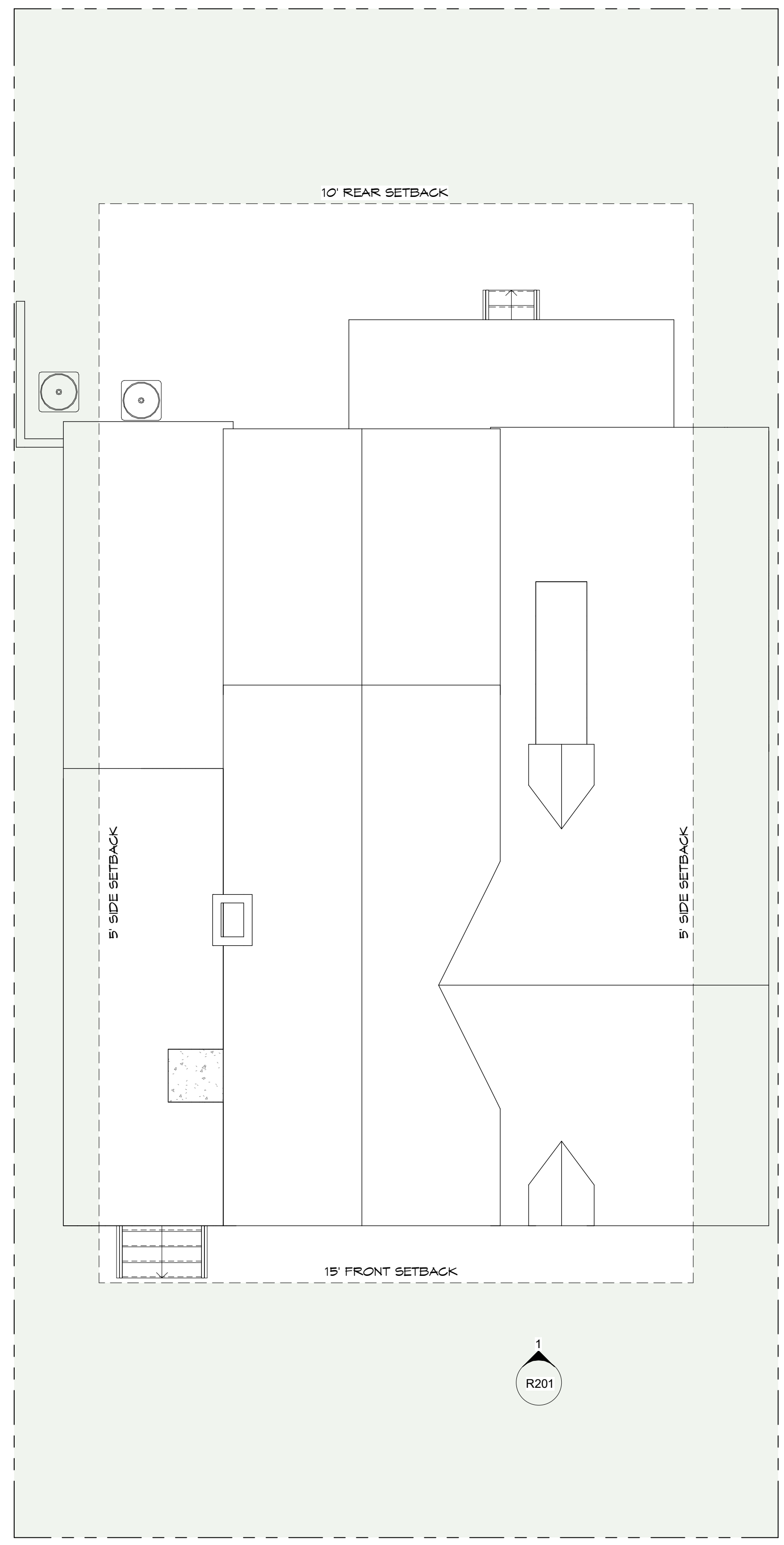
R201
4

R201
1

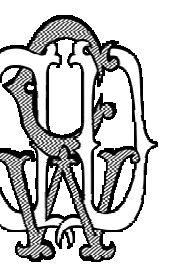
R201
1



1 FIRST LEVEL - EXISTING
1/4" = 1'-0"



2 SITE - EXISTING
3/16" = 1'-0"

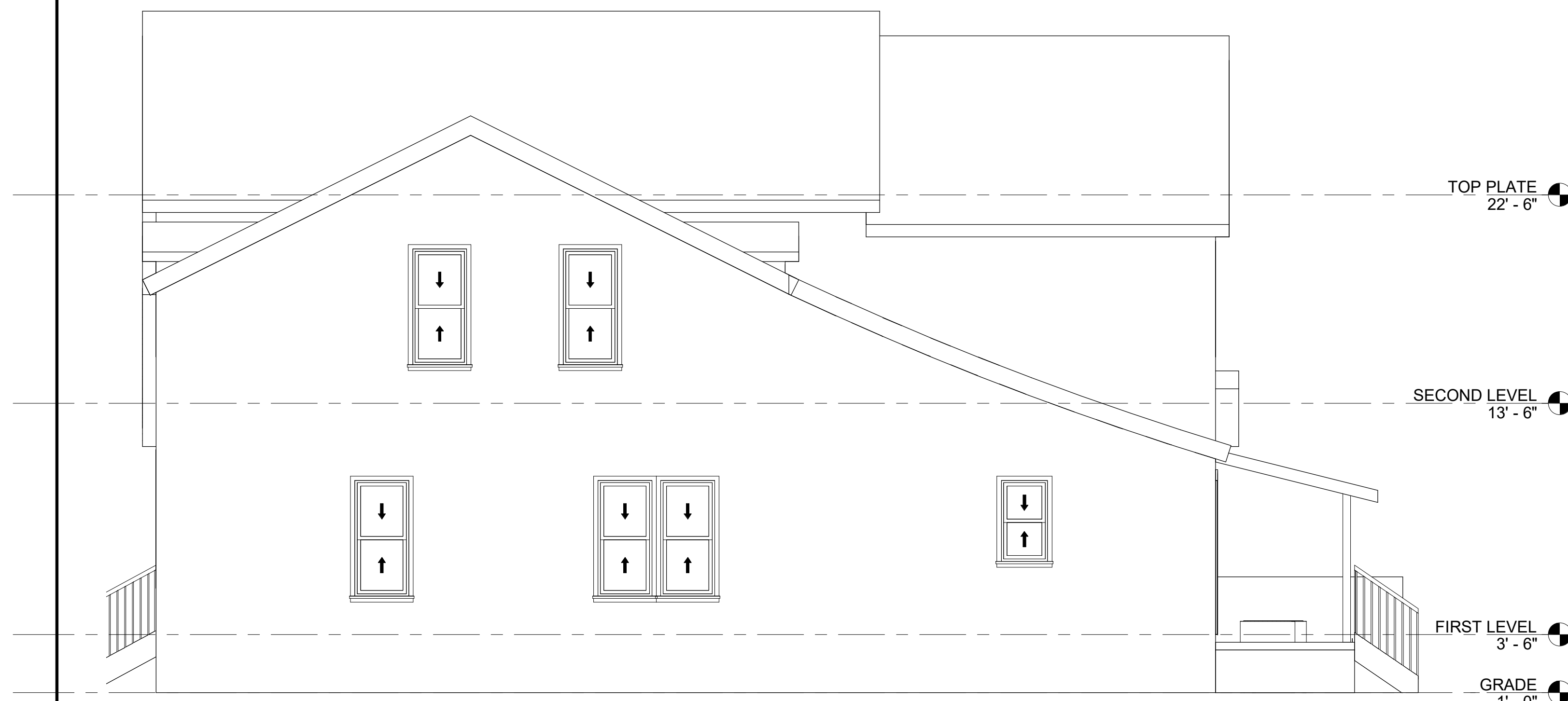


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RECORD ELEVATIONS



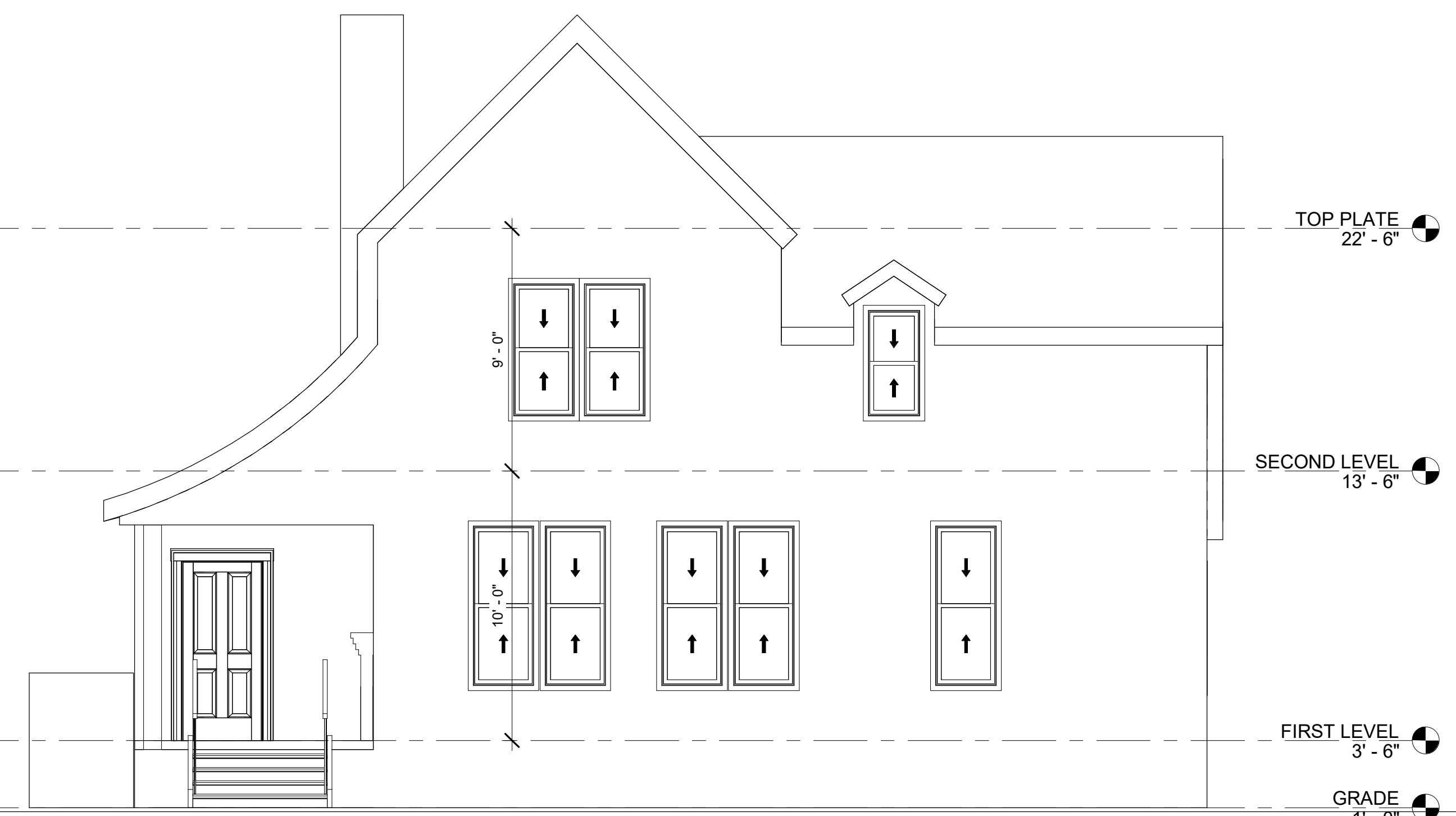
④ SIDE ELEVATION
1/4" = 1'-0"



③ REAR ELEVATION
1/4" = 1'-0"



② ELLIS STREET ELEVATION
1/4" = 1'-0"



① LONDON STREET ELEVATION
1/4" = 1'-0"

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