



2514 ABERCORN STREET  
SUITE 110  
SAVANNAH, GA 31401  
912.777.3979

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A NEW SCHOOL FOR  
**ST. FRANCIS XAVIER**  
1129 GRANT ST.  
BRUNSWICK, GA 31520

REVISIONS	ADD	DATE	DESCRIPTION

ARCHITECTURAL SITE  
PLAN

ISSUED FOR BHPB REVIEW  
06.18.21

JOB NO: 21.012  
ISSUE DATE: 06.18.21  
DRAWN: RCLAUS

AS1.1

BUILDING GROSS SF	
BUILDING / LEVEL	AREA
NEW SCHOOL	
1st FLR. F.F.	11,801 SF
SECOND FLOOR (SCHOOL)	
2nd FLR. F.F.	12,794 SF
CAFETERIUM / KITCHEN	
1st FLR. F.F.	5,117 SF
2nd FLR. F.F.	5,117 SF
GRAND TOTAL	29,678 SF

LOTS 107, 121 & 124-A

TAX ASSESSOR'S PROPERTY IDENTIFICATION NUMBER'S  
01-00951 IHRR 00953

CURRENT ZONING: GR

TAX ASSESSOR'S PROPERTY IDENTIFICATION NUMBER'S  
01-00954 IHRR 00958 &  
01-00967 IHRR 72

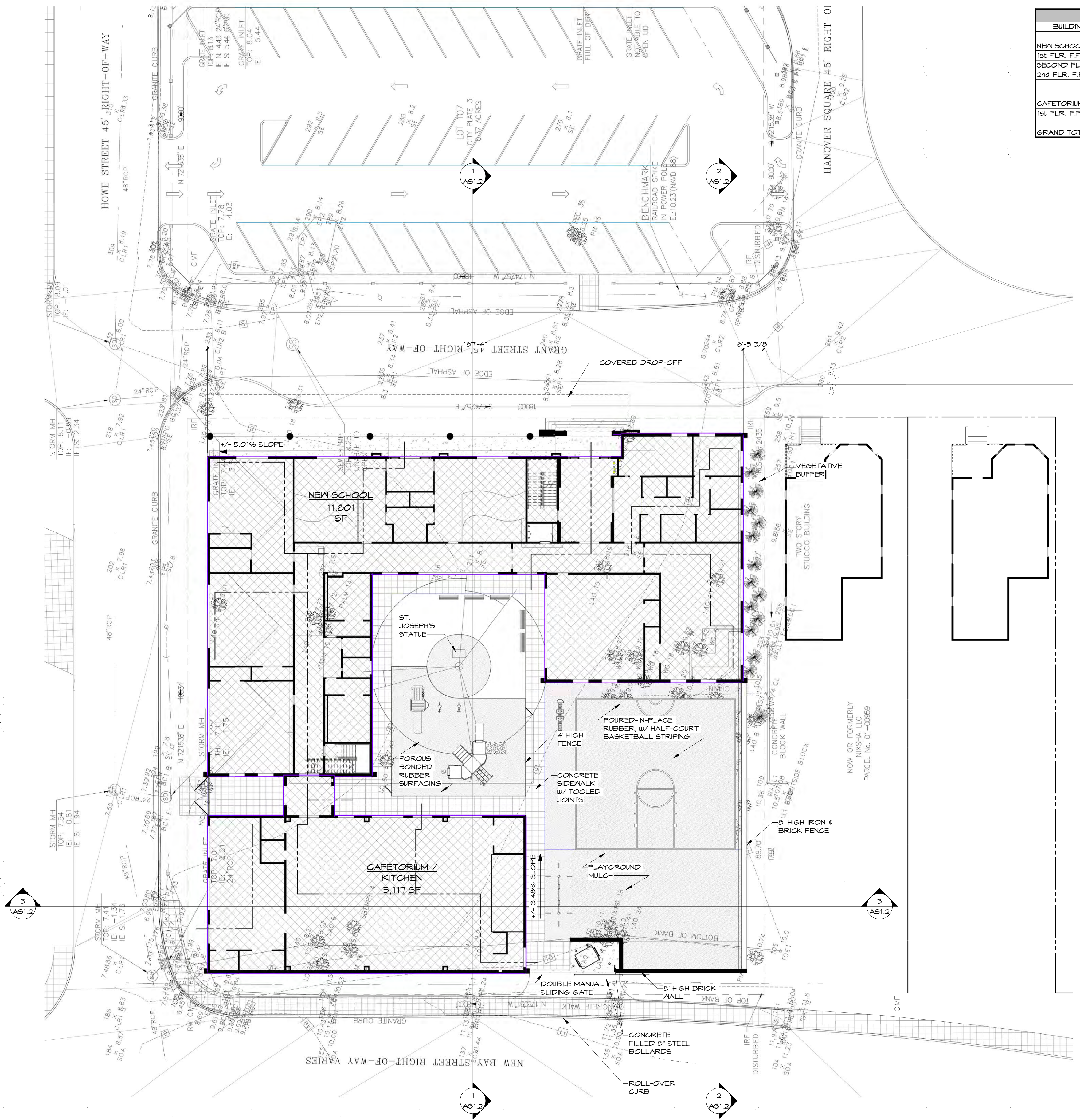
CURRENT ZONING: GR-CORE

TOTAL LOT AREA: 1.48 ACRES

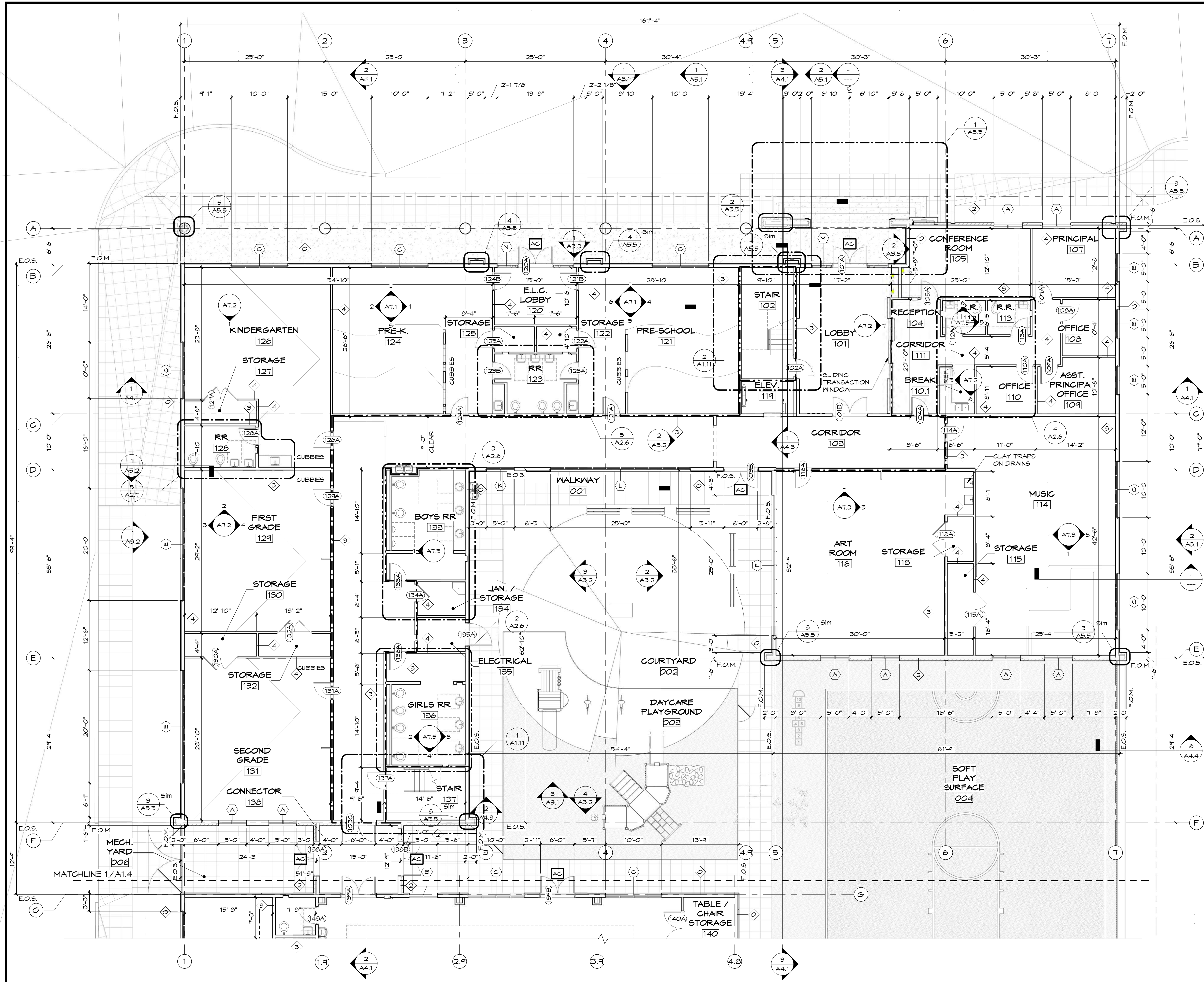
- LEGEND**
- IRF IRON ROD FOUND
  - PROPERTY CORNER TO BE SET
  - CMF CONCRETE MONUMENT FOUND
  - IPF IRON PIPE FOUND
  - ⊕ MANHOLE TYPE UNKNOWN
  - ⊕ GM GAS METER
  - × 13.4 SPOT ELEVATION
  - ⊖ GRATE INLET
  - ⊖ WATER METER
  - ⊖ POWER POLE
  - ⊖ GUY WIRE
  - ⊖ STORM DRAINAGE MANHOLE
  - ⊖ SANITARY SEWER MANHOLE
  - ⊖ LIGHT POLE
  - ⊖ CLEANOUT
  - ⊖ IRRIGATION CONTROL VALVE
  - ⊖ FH FIRE HYDRANT
  - OHP OVERHEAD UTILITY LINE
  - 1R CONTOUR LINE
  - UGT COMMUNICATION LINE
  - W UNDERGROUND WATER LINE
  - SS UNDERGROUND SEWER LINE
  - SD UNDERGROUND STORM LINE

- TREE LEGEND**
- SIZE OF SYMBOL DOES NOT INDICATE THE SIZE OF THE DRIP LINE/CANOPY LINE
- LOCATION OF TREE
- LO 14 TREE SIZE (IN INCHES)
- TREE TYPE
- TREE TYPE ABBREVIATIONS:
- BRAD BRADFORD PEAR
  - CED CEDAR
  - CHE CHERRY
  - CREP CREPE MYRTLE
  - HICK HICKORY
  - HOLLY HOLLY BERRY
  - LAO LAUREL OAK
  - LO LIVE OAK
  - MIM MIMOSA
  - PM PALM
  - PEC PECAN
  - SGUM SWEET GUM
  - WO WATER OAK
- ALL OTHERS SPELLED OUT
- MULTIPLE TREE SIZES INDICATES COMMON BASE
- DEAD TREES NOT LOCATED

- SURVEYOR'S NOTES**
- THE ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM. THE CONTOUR INTERVAL IS 1 FOOT.
  - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 84,731 FEET, AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
  - THIS PLAT HAS A PRECISION OF ONE FOOT IN 113,169 FEET.
  - ACCORDING TO F.L.R.M. MAP NO. 13127C0238F, REVISED SEPTEMBER 6, 2006, THE PROPERTY SHOWN ON THIS SURVEY LIES IN ZONAL (BFE 11) ONLY ABOVEGROUND, READILY VISIBLE STRUCTURES AND UTILITIES WERE LOCATED FOR THIS SURVEY. THIS SURVEYOR MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF ANY BELOWGROUND, NON-VISIBLE UTILITIES OR STRUCTURES.



1 ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"



**GENERAL NOTES**

1. ALL WORK REQUIRED UNDER THE SCOPE OF THIS CONTRACT SHALL CONFORM TO THE ALL APPLICABLE BUILDING CODES, LIFE SAFETY CODES, ACCESSIBILITY CODES ADOPTED BY THE STATE AND LOCAL JURISDICTIONAL AUTHORITIES.
2. ALL CONTRACTORS AND PERSONNEL ENGAGED UNDER THIS CONTRACT SHALL EXECUTE WORK IN CONFORMANCE WITH BEST INDUSTRY TRADE PRACTICES.
3. ALL WORK REQUIRED UNDER THE SCOPE OF THIS CONTRACT SHALL CONFORM TO LOCAL UTILITY COMPANY REQUIREMENTS.
4. THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE, BONDS AND FEES WITH THE LOCAL JURISDICTIONAL AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH LOCAL JURISDICTIONAL AUTHORITIES AND UTILITIES AS APPROPRIATE TO THE CONSTRUCTION SCHEDULE.
6. THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH THE WORK REQUIRED BY OTHER TRADES AND MATERIAL SUPPLIERS.
7. MINOR DETAIL REQUIREMENTS NOT NORMALLY SHOWN ON DRAWINGS BUT NECESSARY FOR THE PROPER EXECUTION AND CONSTRUCTION OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED HEREIN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS AND CONDITIONS WITHIN THE CONSTRUCTION AREA. ADEQUATE SHORING, BRACING, SAFETY BARRIERS AND CAUTION AREAS SHALL BE PROVIDED IN ACCORDANCE WITH OSHA REGULATIONS. CONTRACTOR SHALL RETAIN SOLE RESPONSIBILITY FOR DAMAGE OR INJURY INCURRED DURING EXECUTION OF THE WORK.
9. ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
10. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.
11. ALL INTERIOR PARTITION WALLS SHALL RECEIVE SOUND ATTENUATION BATT INSULATION.
12. FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED, AS SHOWN ADJACENT TO WALL, SET DOOR 6" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL, U.N.O.
13. UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.
14. ALL FIRE EXTINGUISHER CABINETS SHALL BE SEMI-RECESSED. SEE SPECS FOR MODEL NO.

**ABBREVIATIONS**

E.O.S.	EDGE OF STUD
E.O.C.	EDGE OF COLUMN
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF SHEATHING
F.O.B.	FACE OF BLOCK
SLAB	EDGE OF SLAB
C.O.	CASED OPENING

**LEGEND**

- 1 HR. FIRE RATED WALL
- 2 HR. FIRE RATED WALL



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A NEW SCHOOL FOR  
**ST. FRANCIS XAVIER**  
 1129 GRANT ST.  
 BRUNSWICK, GA 31520

REVISIONS	DATE	DESCRIPTION
ADD		

CONSTRUCTION PLAN - FIRST FLOOR (SCHOOL)

ISSUED FOR BHPB REVIEW  
06.18.21

JOB NO: 21.012  
ISSUE DATE: 06.18.21  
DRAWN: CAT

**A1.3**

1 CONSTRUCTION PLAN - FIRST FLOOR (SCHOOL)  
A1.3 SCALE: 1/8" = 1'-0"





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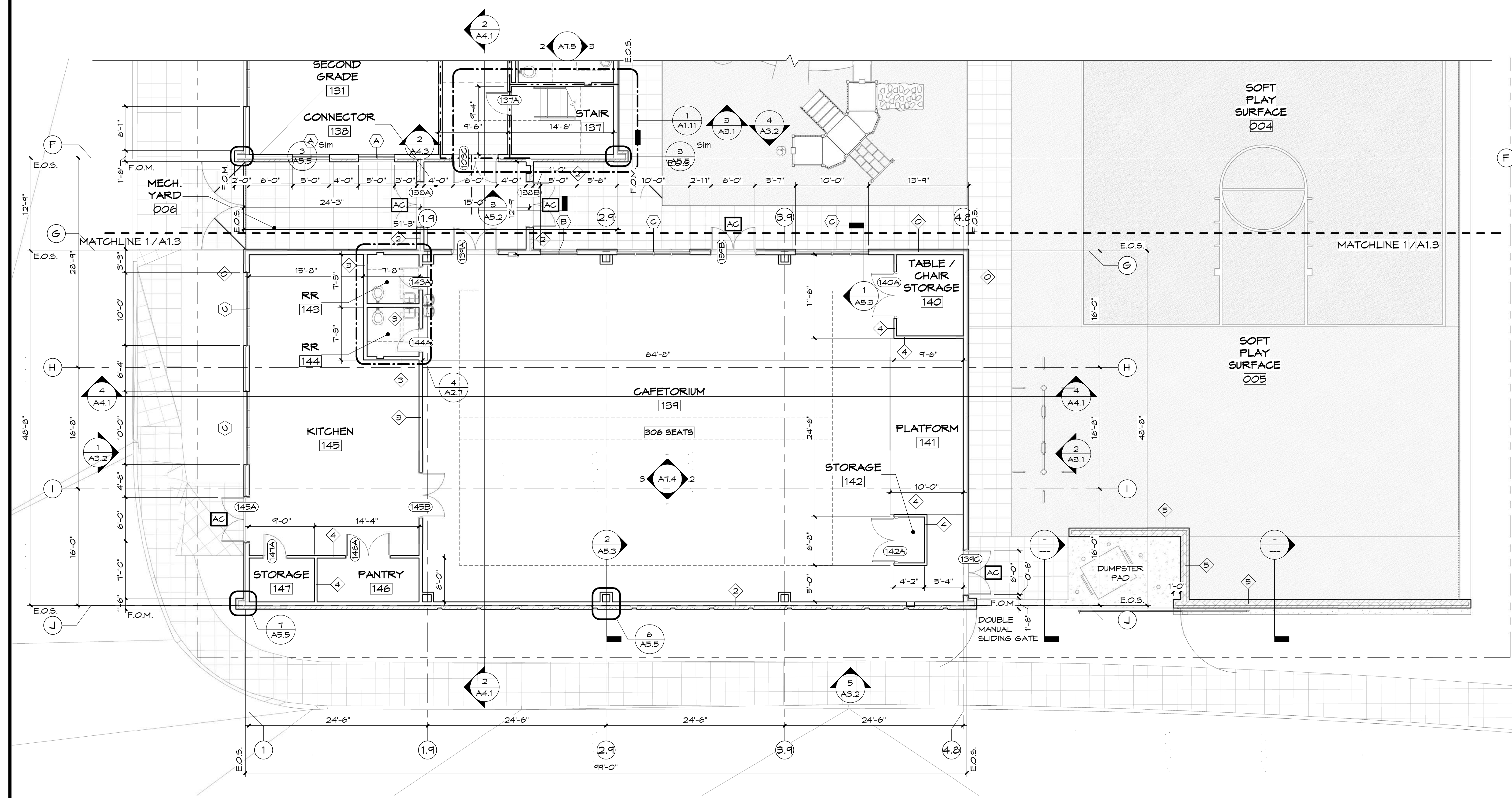
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F.O.B.	FACE OF BLOCK
SLAB	EDGE OF SLAB
C.O.	CASED OPENING

**LEGEND**

---	1 HR. FIRE RATED WALL
---	2 HR. FIRE RATED WALL



1 CONSTRUCTION PLAN - FIRST FLOOR (GYM)  
A1.4 SCALE: 1/8" = 1'-0"



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A1.4



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REVISIONS  
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CONSTRUCTION PLAN - SECOND FLOOR (SCHOOL)

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A1.5

**GENERAL NOTES**

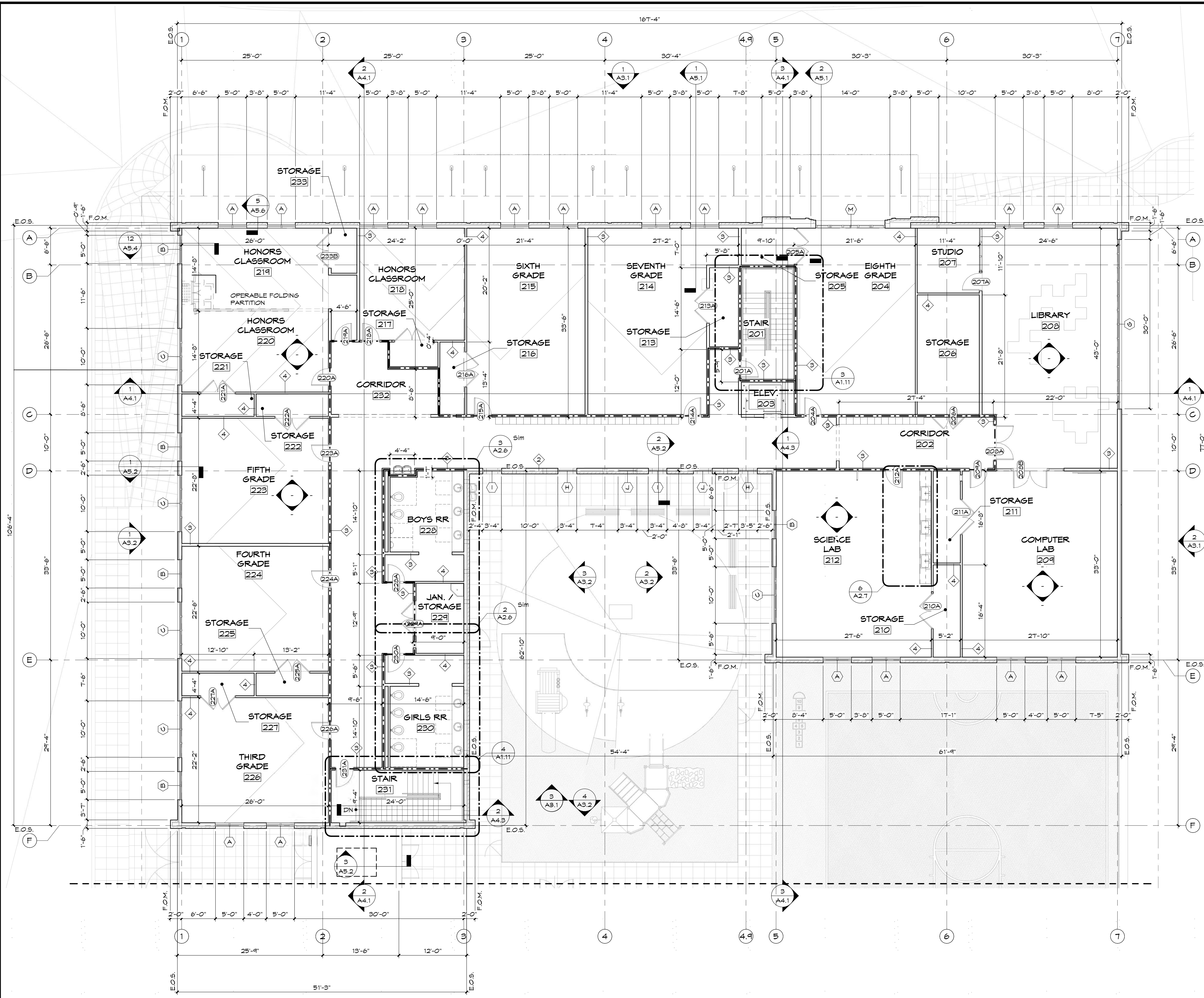
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1 CONSTRUCTION PLAN - SECOND FLOOR  
SCALE: 1/8" = 1'-0"





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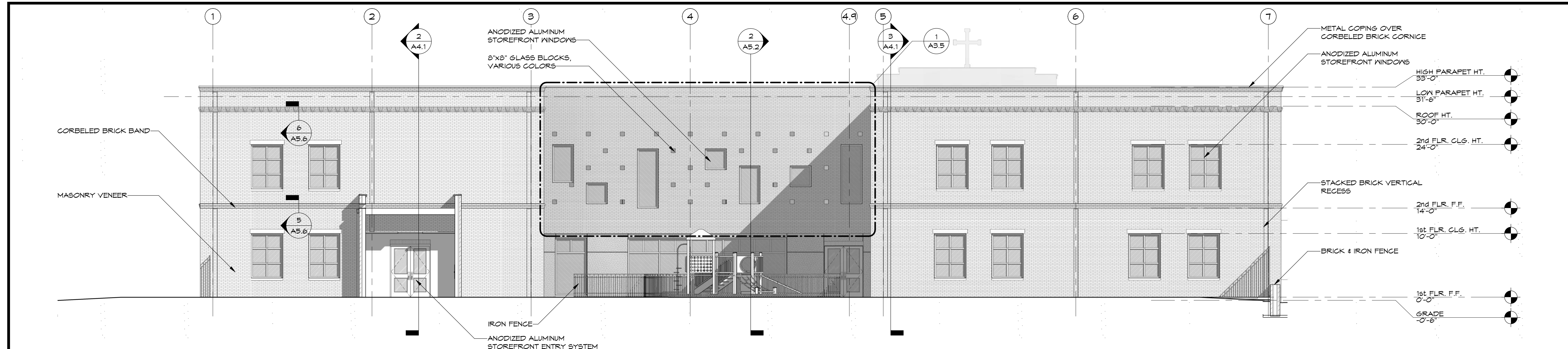
REVISIONS	DESCRIPTION
ADD	DATE

EXTERIOR ELEVATIONS

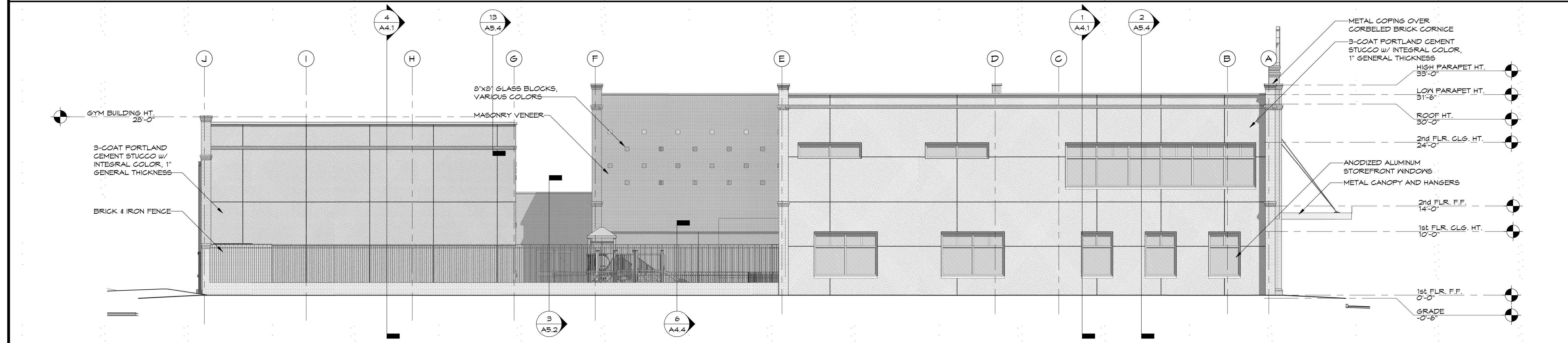
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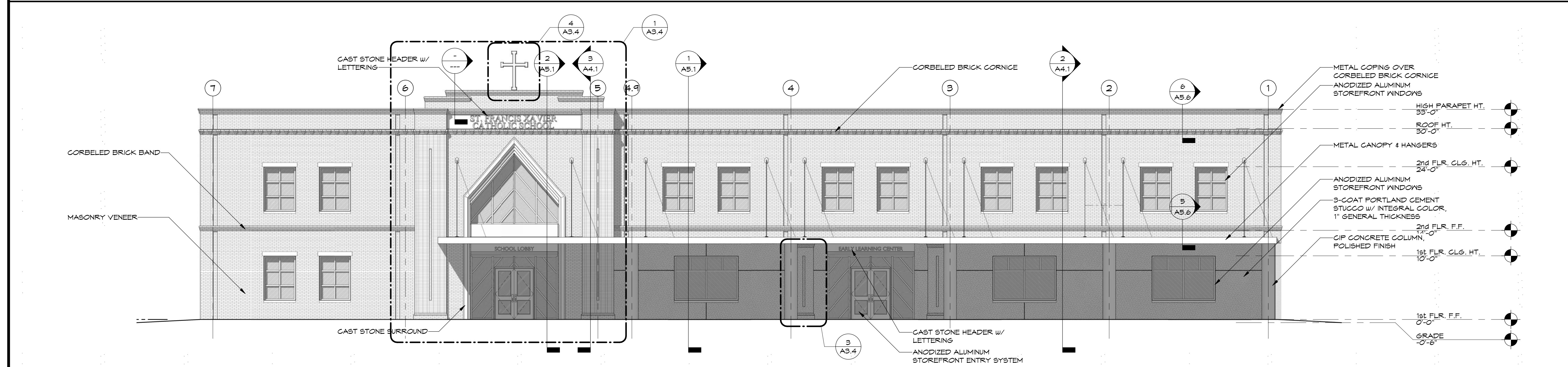
A3.1



**3 WEST ELEVATION (SCHOOL)**  
SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

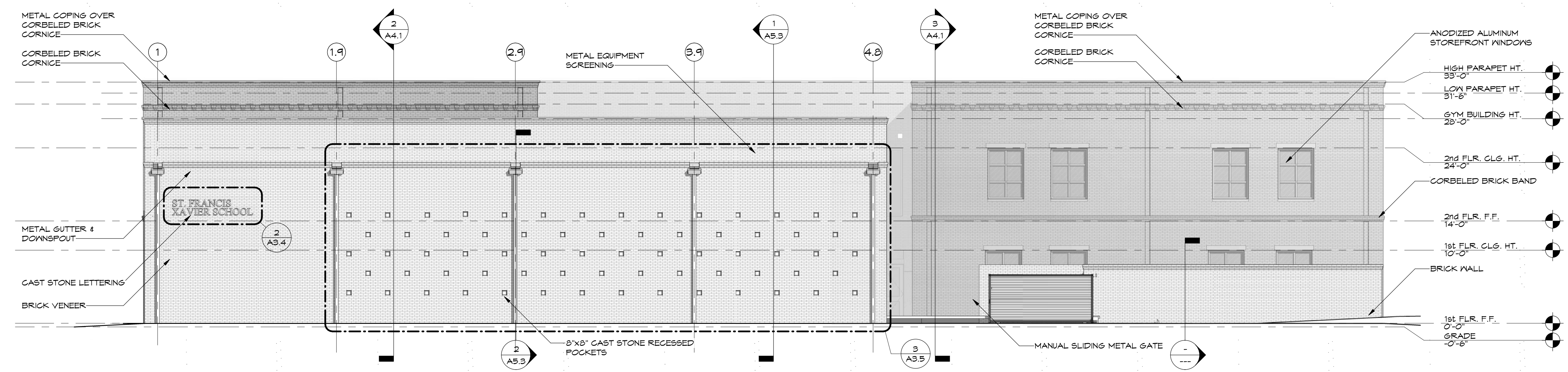


**1 EAST ELEVATION (SCHOOL)**  
SCALE: 1/8" = 1'-0"

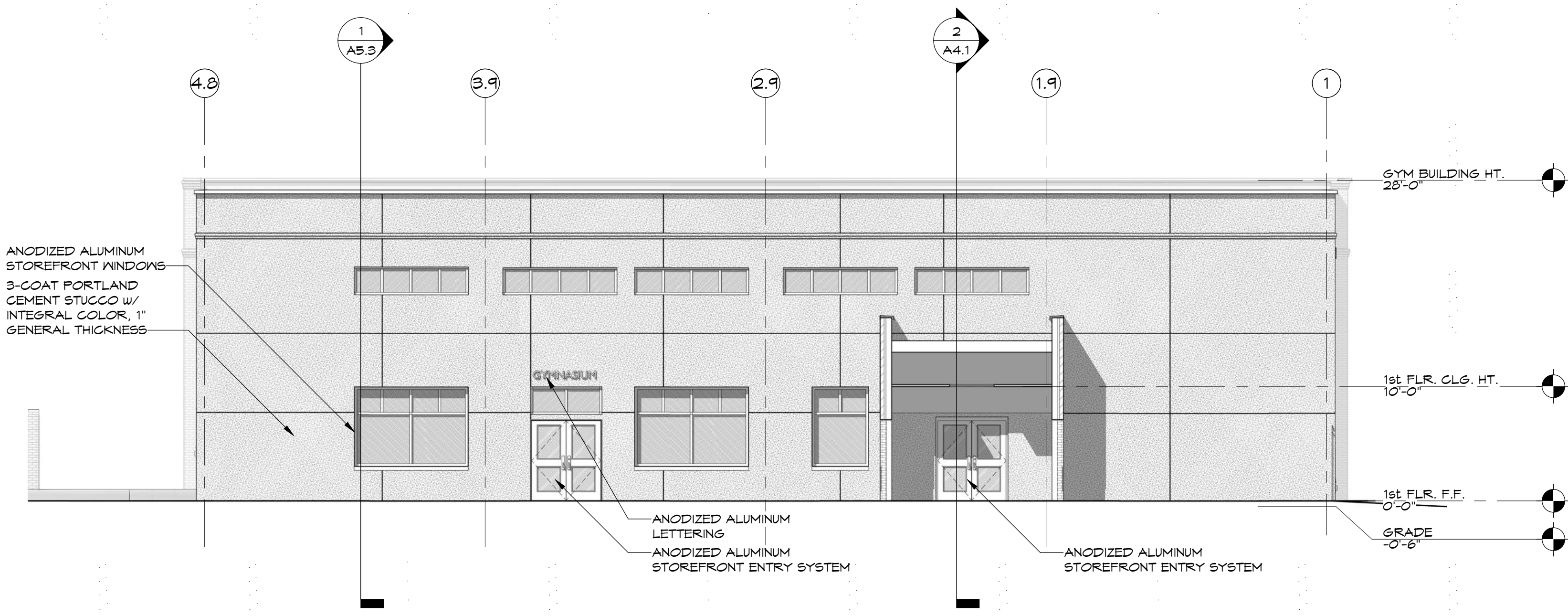
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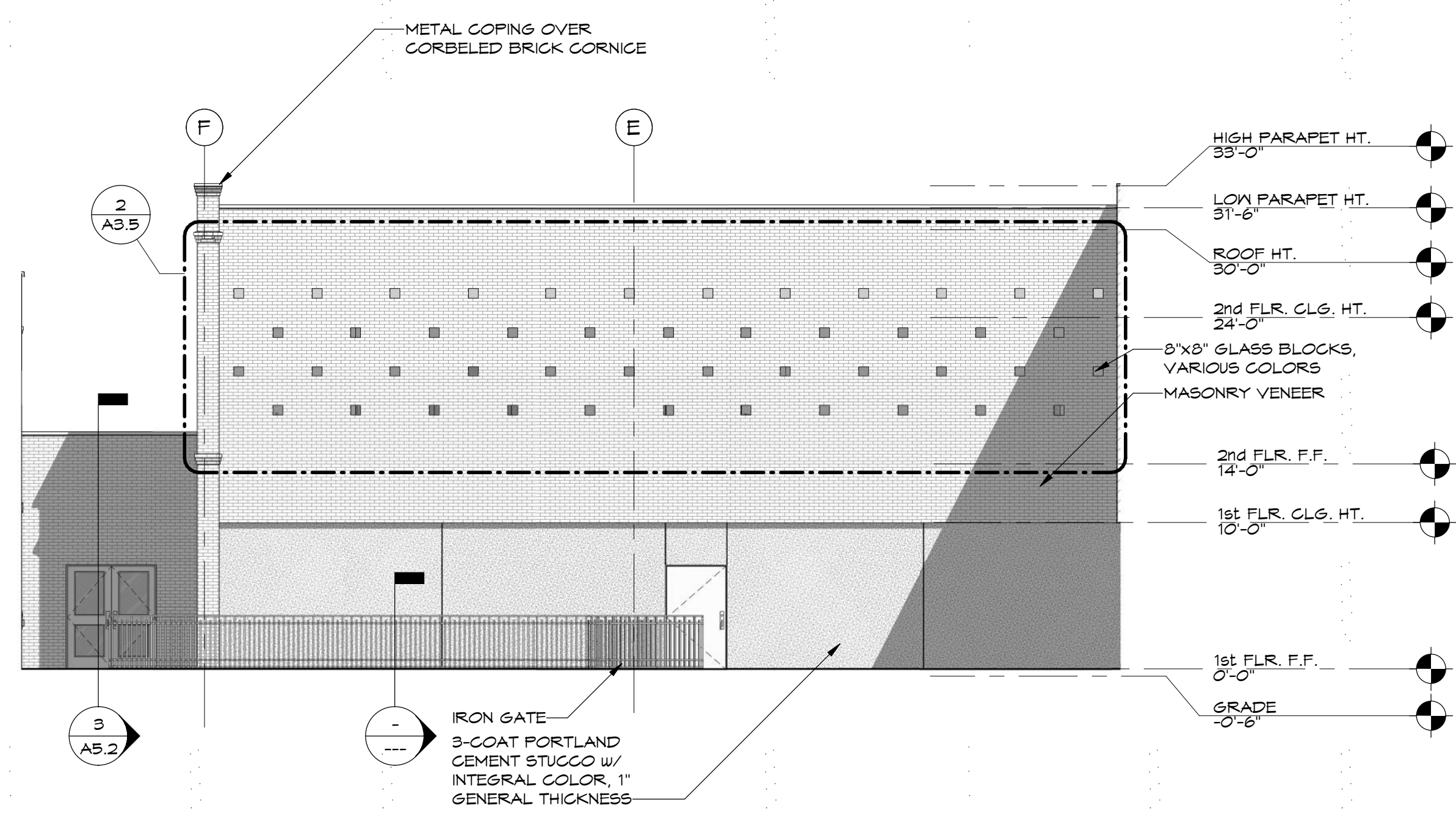
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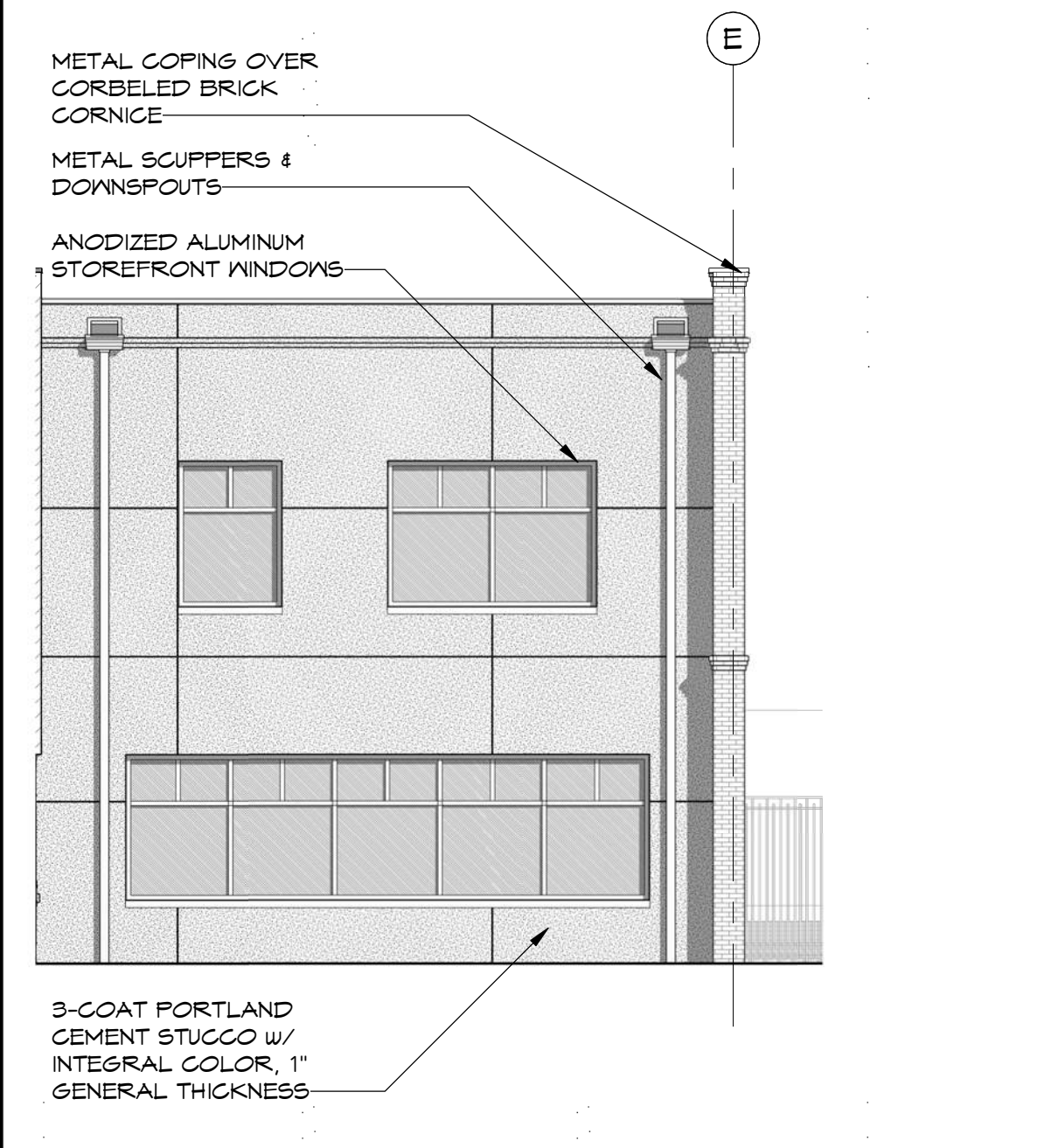
**5 WEST ELEVATION (GYM)**  
A3.2 SCALE: 1/8" = 1'-0"



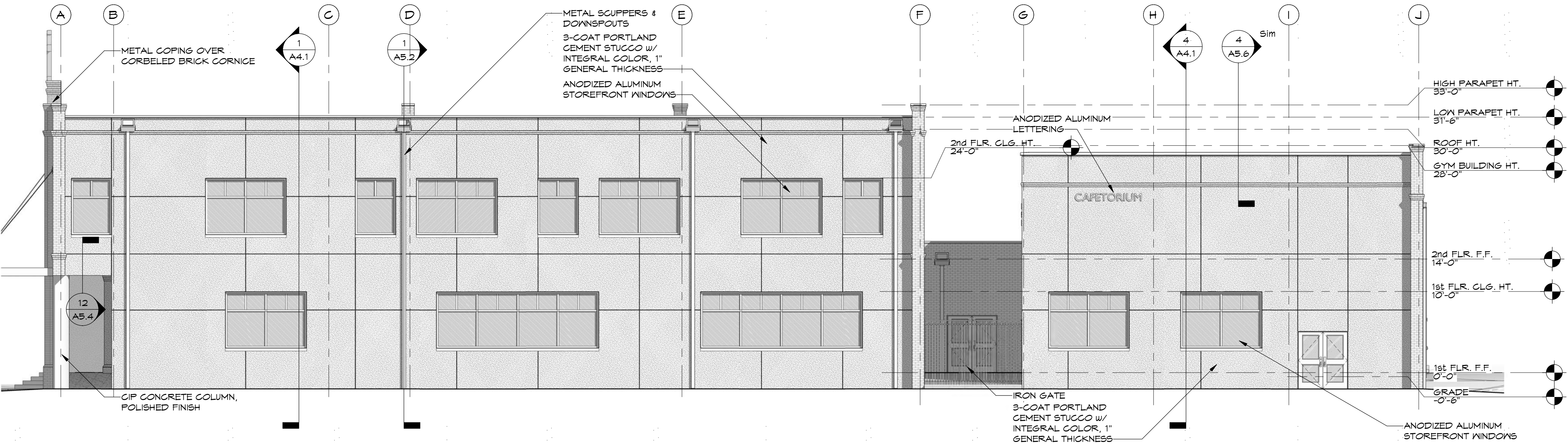
**4 EAST ELEVATION (GYM)**  
A3.2 SCALE: 1/8" = 1'-0"



**3 SOUTH ELEVATION (SCHOOL COURTYARD)**  
A3.2 SCALE: 1/8" = 1'-0"



**2 NORTH ELEV. (SCHOOL COURTYARD)**  
A3.2 SCALE: 1/8" = 1'-0"



**1 NORTH ELEVATION**  
A3.2 SCALE: 1/8" = 1'-0"



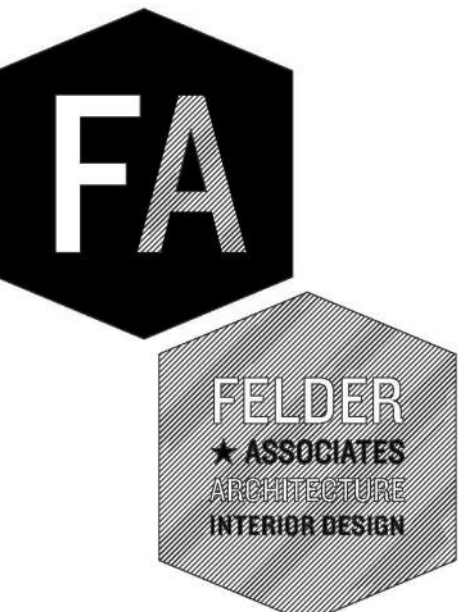
1  
A10.1 VIEW OF MAIN ENTRANCE



2  
A10.1 VIEW FROM PARKING LOT



3  
A10.1 VIEW FROM CAFETERIA



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**A10.1**

EXTERIOR  
RENDERINGS



9 VIEW FROM US-341  
PH1.1



8 VIEW FROM US-341 AND HOWE STREET CORNER  
PH1.1



7 VIEW DOWN HOWE STREET  
PH1.1



6 VIEW FROM HOWE STREET  
PH1.1



5 VIEW FROM HOWE STREET & NEWCASTLE STREET CORNER  
PH1.1



4 VIEW FROM HOWE STREET & GRANT STREET CORNER  
PH1.1



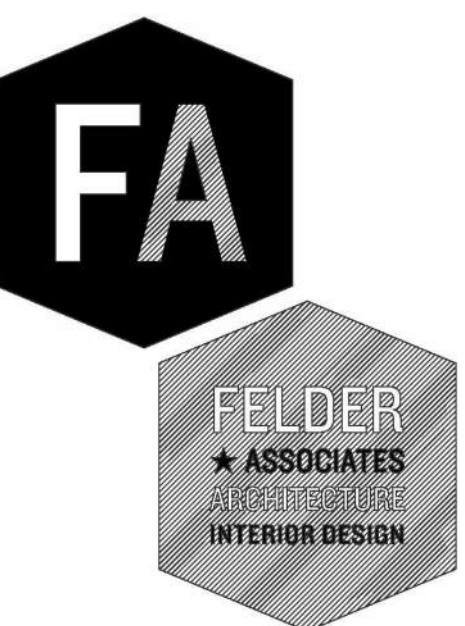
3 VIEW FROM NEWCASTLE STREET TOWARDS GRANT STREET  
PH1.1



2 VIEW OF EXISTING BUILDINGS ON GRANT STREET  
PH1.1



1 VIEW FROM NEWCASTLE STREET TOWARDS GRANT STREET  
PH1.1



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SITE & CONTEXT  
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PH1.1





9 VIEW OF ADJACENT BUILDING ON HOWE STREET AND US-341  
RH1.2



8 VIEW DOWN GRANT STREET AWAY FROM SITE  
RH1.2



7 VIEW DOWN NEWCASTLE STREET AWAY FROM SITE  
RH1.2



6 VIEW FROM HOWE STREET TOWARDS SITE  
RH1.2



5 VIEW DOWN HOWE STREET AWAY FROM SITE  
RH1.2



4 VIEW OF ST. FRANCIS XAVIER CHURCH & NARTHEX  
RH1.2



3 VIEW OF ST. FRANCIS XAVIER CHURCH FROM HANOVER SQUARE  
RH1.2



2 VIEW OF HANOVER SQUARE  
RH1.2



1 VIEW OF ST. FRANCIS XAVIER CHURCH FROM GRANT STREET  
RH1.2



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PH1.2

# WINDOWS



STOREFRONT - YKK  
CANYON CLAY SW 6054  
COLOR TO MATCH  
CANOPY & DOORS

# BRICK



MANUFACTURER T.B.D.  
TO MATCH ST. FRANCIS  
XAVIER CHURCH

# DOORS



STOREFRONT - YKK  
COLOR TO MATCH  
CANOPY & WINDOWS



# CAST STONE



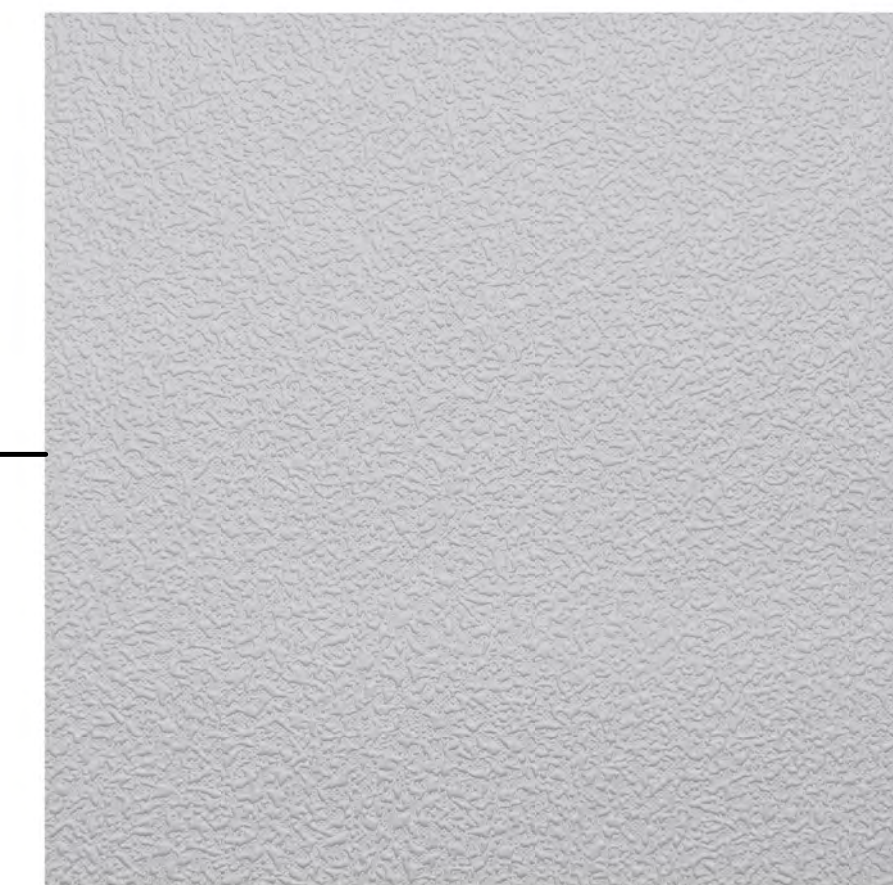
COLUMNS, CROSS,  
WINDOW SILLS & HEADERS  
- MANUFACTURER T.B.D.

# CANOPY



ALUMINUM  
CANYON CLAY SW 6054  
(COLOR TO MATCH  
DOORS & WINDOWS)

# STUCCO



STUCCO - MASTER WALL  
403 WEATHERED



FELDER  
★ ASSOCIATES  
ARCHITECTURE  
INTERIOR DESIGN

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A NEW SCHOOL FOR  
ST. FRANCIS XAVIER

1129 GRANT ST.  
BRUNSWICK, GA 31520

REVISIONS	DESCRIPTION
ADD	DATE

COLOR SAMPLE BOARD

ISSUED FOR BHPB REVIEW  
06.18.21

JOB NO: 21.012  
ISSUE DATE: 04/16/21  
DRAWN: ED

PH1.3